



**AGENDA**  
**CITY OF EL SEGUNDO**  
**PLANNING COMMISSION**  
**5:30 PM**  
**COUNCIL CHAMBER**  
**350 MAIN STREET**  
**EL SEGUNDO, CA 90245**  
**APRIL 23, 2026**

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**MEMBERS OF PLANNING COMMISSION**

Kevin Maggay, Chairperson  
Mario Inga, Vice Chairperson  
Mark Christian  
Melissa McCaverty  
Steve Taylor

The Planning Commission, with certain statutory exceptions, can only take action upon properly posted and listed agenda items. Any writings or documents given to a majority of the Planning Commission, regarding any matter on this agenda, that the City received after issuing the agenda packet are available for public inspection in the Community Development Department, during normal business hours. Such documents may be posted on the City's website at [www.elsegundo.org](http://www.elsegundo.org) and additional copies will be available at the meeting.

Unless otherwise noted in the agenda, the public can only comment on city-related business that is within the jurisdiction of the Planning Commission and/or items listed on the agenda during the Public Communications portion of the Meeting. ***Additionally, members of the public can comment on any Public Hearing item on the agenda during the Public Hearing portion of such item.*** The time limit for comments is five (5) minutes per person. Before speaking to the Planning Commission, please fill out a speaker card located in the Chamber Lobby. It is not required to provide personal information in order to speak, except to the extent necessary to be called upon, properly record your name in meeting minutes and to provide contact information for later staff follow-up, if appropriate. Please respect the time limits.

***REASONABLE ACCOMMODATIONS: In compliance with the Americans with Disabilities Act and Government Code Section 54953(g), the City Council has adopted a reasonable accommodation policy to swiftly resolve accommodation requests. The policy can also be found on the City's website at <https://www.elsegundo.org/government/departments/city-clerk>. Please contact the City Clerk's Office at (310) 524-2308 to make an accommodation request or to obtain a copy of the policy.***

**CALL TO ORDER/ROLL CALL**

**PLEDGE OF ALLEGIANCE**

**PUBLIC COMMUNICATION – (Related to City Business Only – 5-minute limit per person, 30-minute limit total)** *Individuals who have received value of \$50 or more to communicate to the **Planning Commission** on behalf of another, and employees speaking on behalf of their employer, must so identify themselves prior to addressing the **Planning Commission**. Failure to do so shall be a misdemeanor and punishable by a fine of \$250. While all comments are welcome, the Brown Act does not allow action on any item not on the agenda.*

**A. CONSENT**

**1. Approve March 26, 2026 Planning Commission Meeting Minutes**

Recommendation -

1. Approve March 26, 2026 Planning Commission Meeting Minutes.
2. Alternatively, discuss and take other action related to this item.

**B. PUBLIC HEARINGS**

**2. Ordinance Amending Title 15 of the El Segundo Municipal Code to Update and Clarify Definitions, Permitted Uses and Development Standards in Various Zones (Clean-up ordinance)**

Recommendation -

1. Open and conduct a public hearing to solicit public testimony.
2. Adopt Resolution No. 2975, recommending that the City Council adopt an ordinance amending El Segundo Municipal Code Title 15 to Update and Clarify Definitions, Permitted Uses and Development Standards in Various Zones (clean-up ordinance), and finding that the ordinance is exempt from the requirements of the California Environmental Quality Act pursuant to Guidelines section 15061(b)(3).
3. Alternatively, discuss and take other action related to this item.

**C. NEW BUSINESS**

**D. UNFINISHED BUSINESS**

**E. REPORTS – COMMUNITY DEVELOPMENT DIRECTOR**

**F. REPORTS - COMMISSIONERS**

**G. REPORTS – CITY ATTORNEY**

## ADJOURNMENT

POSTED:

DATE:

April 17, 2026

TIME:

4:18pm

BY:

Eduardo Schonborn, Planning Manager



**MINUTES OF THE  
EL SEGUNDO PLANNING COMMISSION  
Regularly Scheduled Meeting**

**March 26, 2026**

**CALL TO ORDER**

Chair Maggay called the meeting to order at 5:30 p.m.

**ROLL CALL**

Present: Chair Maggay  
Present: Vice Chair Inga  
Present: Commissioner Christian  
Present: Commissioner McCaverty  
Present: Commissioner Taylor

Also present: Michael Allen, AICP, Community Development Director  
Also present: Eduardo Schonborn, AICP, Planning Manager  
Also present: David King, Assistant City Attorney  
Also present: Jazmin Farias, Assistant Planner

**PLEDGE OF ALLEGIANCE**

Chair Maggay led the pledge.

**PUBLIC/WRITTEN COMMUNICATIONS**

None.

**A. CONSENT**

The Planning Commission reached a consensus to approve the consent calendar consisting of the following.

- 1. March 12, 2026 Planning Commission Meeting Minutes:**
- 2. Administrative Use Permit to Allow the Sale of Distilled Spirits for Off-site Consumption at an Existing 7-Eleven Convenience Store at 2161 East El Segundo Boulevard. (Revision A to Environmental Assessment No. EA-996 and Administrative Use Permit No. AUP 12-04).**

**MOTION:** Approve the Consent Calendar.

**Moved by Commissioner Taylor, second by Vice Chair Inga.**

**Motion carried, 5-0, by the following vote:**

**Ayes:** Maggay, Inga, Christian, McCaverty, and Taylor

**B. NEW PUBLIC HEARINGS**

3. **Downtown Design Review for the Construction of an Aluminum Truss Frame Structure, Administrative Use Permit to Expand the Alcohol Service Area; and, Modification to Conditional Use Permit No. 13-02, regarding Live Entertainment with Amplified Sound and Parking In-Lieu Fees for an Existing Restaurant (“Rock and Brews”) Located at 139-147 Main Street in the DSP Zone.**

**MOTION:** Continue the public hearing to the May 14, 2026 Planning Commission Meeting at the request of staff and the applicant.

**Moved by Commissioner Taylor, second by Vice Chair Inga.**

**Motion carried, 5-0, by the following vote:**

**Ayes:** Maggay, Inga, Christian, McCaverty, and Taylor

**C. NEW BUSINESS**

None.

**D. UNFINISHED BUSINESS**

None.

**E. REPORTS – COMMUNITY DEVELOPMENT DIRECTOR OR DESIGNEE**

None.

**F. REPORTS – PLANNING COMMISSIONERS**

The Planning Commission reached a consensus to cancel the April 9, 2026, Planning Commission Meeting.

**G. REPORTS – CITY ATTORNEY**

None.

**ADJOURNMENT** — the meeting adjourned at 5:39 p.m.

The next meeting is scheduled for April 23, 2026 at 5:30 p.m.

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Michael Allen, Community Development Director

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Kevin Maggay, Planning Commission Chair



## Planning Commission Agenda Statement

Meeting Date: April 23, 2026

Agenda Heading: PUBLIC HEARINGS

Item Number: B.2

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### **TITLE:**

Ordinance Amending Title 15 of the El Segundo Municipal Code to Update and Clarify Definitions, Permitted Uses and Development Standards in Various Zones (Clean-up ordinance)

### **RECOMMENDATION:**

1. Open and conduct a public hearing to solicit public testimony.
2. Adopt Resolution No. 2975, recommending that the City Council adopt an ordinance amending El Segundo Municipal Code Title 15 to Update and Clarify Definitions, Permitted Uses and Development Standards in Various Zones (clean-up ordinance), and finding that the ordinance is exempt from the requirements of the California Environmental Quality Act pursuant to Guidelines section 15061(b)(3).
3. Alternatively, discuss and take other action related to this item.

### **FISCAL IMPACT:**

None.

### **BACKGROUND:**

El Segundo Municipal Code (ESMC) Title 15 (Zoning regulations) was last comprehensively updated in 1993. Since then, the City has periodically approved amendments primarily to address specific issues, to update specific chapters, and/or to ensure consistency with State laws. Commencing in 2017, the Community Development Department initiated periodic "clean-up" ordinances to update and clarify various zoning code provisions, incorporate Director determinations or interpretations, and respond to changes in State regulations. The proposed ordinance (Exhibit No. 2) is another clean-up ordinance intended to clarify and update zoning code provisions, to make the zoning code more user-friendly, and preserve El Segundo's quality of life and small-town character.

## **DISCUSSION:**

### **Ordinance Summary**

The discussion below summarizes and explains the proposed amendments. The amendments affect the following chapters of the Zoning Code:

#### Chapter 1 - Definitions

The proposed ordinance amends or adds definitions for the following terms:

- **Accessory Building or Structure.** Clarifies that pools are an accessory structure, and as such, subject to the development standards applicable to all other accessory buildings.
- **Accessory Dwelling Unit, Junior.** Clarifies how Junior ADU size is measured and ensures consistency with State Law.
- **Animal Boarding.** Clarifies that animal boarding is synonymous with kennels. The municipal code lists animal boarding as a permitted use in certain zones, but there is no definition of animal boarding. The proposed amendment clarifies that animal boarding is the same as kennels, which is defined in the municipal code.
- **Fitness Center.** Clarifies that fitness centers (gyms) may include various amenities and uses, such as pools, saunas, sport courts, small fitness studios, and similar uses/facilities.
- **Floor Area.** Eliminates the definition of "floor area," which is redundant, to rely primarily on the definitions for gross floor area and net floor area.
- **Gross Floor Area.** Clarifies the measurement of gross floor area and ensures consistency with the California Building Code (CBC) definition. Consistency between the ESMC and CBC will enable architects and designers to calculate gross floor area only once on their plans and streamline plan preparation and review.
- **Home Occupation.** Adds restrictions on car sharing businesses. In the last few years, there has been a trend in home-based car sharing businesses and related code enforcement activity. Incorporating specific provisions in the municipal code regarding these businesses will assist residents wishing to engage in this type of home occupation and potentially reduce related code enforcement activity.
- **Livable Space.** Adds a definition for "livable space" and ensures consistency with State Law related to ADUs and Junior ADUs.
- **Mixed-Use Project.** In the last few years, the City completed rezoning efforts that established mixed-use specific plans and overlays. Adding a mixed-use project definition in the municipal code will help clarify when certain development standards apply to those projects, especially parking-related standards.
- **General Office.** Clarifies that the "professional" office subcategory includes tutoring centers, but not schools. The professional office subcategory includes

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several examples of professional offices for illustrative purposes, including "educational services," which is not clearly defined and subject to different interpretations. Educational services, such as school administrative offices or tutoring centers support education, but they are not schools. The proposed amendment will help clarify the distinction between educational services and schools.

- **Recreational Facilities.** Clarifies that recreational facilities can also include small studios for art, performing art, and fitness.
- **Studios for Art, Performing Art, and Fitness.** Adds a definition for these studios and sets a maximum size of 2,500 gross square feet. Establishing a definition for these uses will help clarify where they are permitted and how much parking should be required for them.

Chapter 2 - General Provisions

- **Exceptions to Building Height (ESMC Section 15-2-3).** Corrects a reference to ESMC Chapters 15-22 (Administrative Determinations, Administrative Use Permits, and Adjustments) and 15-23 (Director Discretionary Decisions).
- **Temporary Buildings (ESMC Section 15-2-10).** Permits and sets restrictions for the use of shipping/cargo containers as temporary construction buildings in the Single-Family (R-1) Residential and Two-Family (R-2) Residential zones. The municipal code permits the use of temporary structures, such as mobile homes or trailers on a construction site, but doesn't address the use of shipping/cargo containers for materials storage or offices during construction. The proposed amendment clarifies that these structures are permitted in the R-1 and R-2 zones subject to certain restrictions and Director review and approval.

Chapter 4 - Residential Zones (ESMC Chapter 15-4)

- **Single-Family Residential (R-1) zone (ESMC Article 15-4B).**
  - Clarifies the permitted front yard setback encroachments. In the R-1 zone, porches, verandas, raised decks, patios, and the primary dwelling front facade are permitted to encroach into the front yard setback, subject to restrictions on the extent and location of the encroachments. The proposed amendment clarifies the extent and location of the encroachments.
  - Clarifies the minimum unit size and maximum Floor Area Ratio (FAR) calculations. The proposed amendment clarifies that the minimum unit size is measured in gross floor area. In addition, the amendment clarifies that the floor area measurement in the R-1 zone is specific only to the FAR and not applicable to other development standards.

- Two-Family Residential (R-2) zone.
  - Clarifies the permitted front yard encroachments. In the R-2 zone (as in the R-1 zone), porches, verandas, raised decks, patios, and the primary dwelling front facade are permitted to encroach into the front yard setback, subject to restrictions on the extent and location of the encroachments. The proposed amendment clarifies the extent and location of the encroachments.
  - Clarifies the measurement of the maximum floor area for detached accessory structures. The R-2 zone has a maximum overall floor area limit on detached accessory structures, but the code does not specify whether it is gross or net floor area. The proposed amendment clarifies that the limit is measured in gross floor area.
  - Landscaping Area. Adds a minimum landscaping area requirement for the front yard setback. The R-2 zone requires the front and street side setbacks to be landscaped with a combination of softscape and hardscape, except for those areas devoted to vehicular parking. The proposed amendment establishes a minimum percentage of the front setback area that must be landscaped with softscape material. The required percentage is higher for lots wider than 50 feet. The addition of the minimum percentage will help prevent front and street side setbacks from being completely paved and will preserve a minimum amount of open, green space.
  - Front Yard Tree. Adds a minimum requirement of one 24-inch box tree in the front yard in conjunction with a new primary dwelling unit. Last year, the City established a minimum requirement of one 24-inch box tree in the front yard in the R-1 zone to help maintain the overall tree canopy in the R-1 neighborhoods. The proposed amendment expands the requirement to R-2 neighborhoods.
  
- Multi-Family Residential (R-3) zone.
  - Clarifies the permitted front yard encroachments. In the R-3 zone (as in the R-1 zone), porches, verandas, raised decks, patios, and the primary dwelling front facade are permitted to encroach into the front yard setback, subject to restrictions on the extent and location of the encroachments. The proposed amendment clarifies the restrictions on the extent and location of the encroachments.
  
- Accessory Dwelling Units (ADU) (ESMC Article 15-4E).
  - Clarifies the floor area measurement for ADUs. The municipal code

(ESMC Article 15-4E) establishes certain floor area limitations for ADUs, but it does not specify whether it is gross or net floor area. The proposed amendment clarifies that the limitations are measured in gross floor area or interior livable space (as required by state law).

- Specifies ADU application procedures and timelines. The proposed amendment establishes a 15-day deadline to determine whether an ADU application is complete, requires the City to provide a written response for applications that are deemed incomplete, and establishes a right for applicants to appeal staff determinations or decisions to the Planning Commission.
  - Clarifies the calculation of development impact fees for ADUs. The municipal code (ESMC Article 15-4E) requires applicants for ADUs 750 square feet or larger to pay development impact fees proportionally in relation to the size of the primary dwelling unit. The municipal code does not specify whether the size of the ADU or primary dwelling is in gross or net floor area. In addition, the municipal code does not describe how the ADU development impact fee is measured for multi-family residential developments. The proposed amendment clarifies that all floor areas are measured in gross floor area and specifies how to calculate the ADU development impact fee for multi-family residential developments.
- Junior Accessory Dwelling Units (JADU) (ESMC Article 15-4F).
    - General Requirements (Section 15-4F-2). Clarifies that owner occupancy is required when JADUs have shared sanitation facilities with the primary dwelling unit. Also, it establishes a JADU minimum rental term longer than 30 consecutive days.
    - Development Standards (Section 15-4F-3). Sets a maximum size of 500 square feet of interior livable space for JADUs. Also, it requires an internal entrance from the primary dwelling unit to the JADU when the JADU does not have its own separate bathroom.
    - Application Process; Fees (Section 15-4F-4). The proposed amendment establishes a 15-day deadline to determine whether a JADU application is complete, requires the City to provide a written response for applications that are deemed incomplete, and establishes a right for applicants to appeal staff determinations or decisions to the Planning Commission. Also, it clarifies that JADUs are exempt from payment of development impact mitigation fees and utility connection fees or capacity charges.
  - Urban Lot Splits (ESMC Article 15-4G).
    - Clarifies the front yard setback requirements for the two newly created

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- lots. The municipal code establishes the front yard setback for lots fronting on a public street. However, it is unclear what the required front setback is for the newly created rear lot in an Urban Lot Split. The proposed amendment clarifies that the rear lot setback to the newly created property line is four feet.
- Clarifies the maximum Floor Area Ratio (FAR) calculations. The amendment clarifies that the FAR measurement in the R-1 zone is specific only to the FAR and not applicable to other development standards.
  - Clarifies the permitted front yard encroachments. In an Urban Lot Split, porches, verandas, raised decks, patios, and the primary dwelling front facade are permitted to encroach into the front yard setback of the newly created front lot, subject to restrictions on the extent and location of the encroachments. The proposed amendment clarifies the extent and location of the encroachments to match those applicable to all R-1 zoned lots. The proposed amendment also clarifies that these front yard encroachments do not apply to the newly created rear lot in an Urban Lot Split.
  - Clarifies the front yard landscaping requirements. In an Urban Lot Split, the municipal code establishes a minimum percentage of the front setback area that must be landscaped with softscape material. The required percentage is higher for lots wider than 50 feet. These requirements match the landscaping requirements applicable to all R-1 zoned lots. The proposed ordinance clarifies that these requirements apply only to the newly created front lot in an Urban Lot Split.
  - Clarifies that the required parking spaces for Urban Lot Splits may be uncovered. The municipal code today requires one off-street parking space for every newly constructed dwelling unit in an Urban Lot Split, but it does not specify whether the parking space must be fully enclosed, covered, or uncovered. The proposed amendment clarifies that the required parking space may be fully enclosed, covered, or uncovered.
  - Clarifies the vehicular access requirements for lots abutting an alley. The municipal code requires that where an R-1 lot abuts an alley, vehicular access to the lot must be from the alley. The proposed amendment clarifies that in an Urban Lot Split vehicular access to both newly created lots must be from the alley.

### Chapter 5 - Commercial Zones

- Permitted Uses.
  - Studios for art, performing art, and fitness. The proposed ordinance adds these studios as stand-alone permitted uses in the C-2 (Neighborhood Commercial), C-3 (General Commercial), and C-4 (Commercial Center) zones. In other commercial zones, they can be permitted as components

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- of either a fitness center or a larger recreational facility.
- Office worker-oriented services. Establishes location, size, and operational restrictions for these uses. The municipal code previously had the following location, size, and operational restrictions for office worker-oriented services: Office worker-oriented services are prohibited along Pacific Coast Highway and El Segundo Boulevard and include uses such as:
  - Dry cleaners that have cleaning operations on-site and are not more than 3,000 gross square feet (not including Laundromats);
  - Shipping, postal, printing and business service centers that are not more than 3,000 gross square feet;
  - Self-service parcel delivery service; and
  - Other service uses determined by the Director to be oriented towards, and clearly related to, office workers in the surrounding area.

These restrictions were inadvertently deleted from the municipal code in a prior zoning code clean-up ordinance. The proposed amendment would reestablish the restrictions.

### Chapter 6 - Industrial Zones

- Permitted Uses. The ordinance corrects an ESMC Section reference related to emergency shelter development standards.

### Chapter 7 - Overlay Districts (ESMC Chapter 15-7)

- Mixed-Use Overlay (MU-O) Zone (ESMC Article 15-7C). The MU Overlay was established in 2024 as part of the larger Housing Element rezoning effort. In the last two years, staff has identified certain of its standards that need clarification.
  - The permitted maximum FAR for commercial uses. The municipal code specifies the maximum permitted residential density (75 du/ac) in the MU-O Zone, but is silent regarding the permitted commercial density. The proposed amendment clarifies that the maximum permitted FAR is that of the underlying zone.
  - The building frontage limitations. The municipal code establishes a maximum building frontage of 140 feet along a street. The proposed amendment clarifies that the standard applies to the entire building width along a street-facing property line, not segments of a building. The intent of the standard and the proposed amendment is to ensure that new development projects are more compatible in scale with existing development in the MU-O Zone.
  - The massing modulation requirements for the top story. The municipal

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code limits the size of the top story of a new building to 70 percent of the largest story in the building. The proposed amendment specifies that the size referenced in this standard is measured in gross floor area.

- Housing Overlay (H-O) Zone (ESMC Article 15-7D). The Housing Overlay was established in 2024 as part of the larger Housing Element rezoning effort. In the last two years, staff has identified certain of its standards that need clarification.
  - The building frontage limitations. The municipal code establishes a maximum building frontage of 140 feet along a street. The proposed amendment clarifies that the standard applies to the entire building width along a street-facing property line, not segments of a building. The intent of the standard and the proposed amendment is to ensure that new development projects are more compatible in scale with existing development, especially in the H-O Zone.
  - The massing modulation requirements for the top story. As in the Mixed-Use Overlay, the Housing Overlay limits the size of the top story of a new building to 70 percent of the largest story in the building. The proposed amendment specifies that the size of a story is measured in gross floor area.

### Chapter 15 - Off-Street Parking and Loading Spaces (ESMC Chapter 15-15)

- Addition of Floor Area to a Dwelling Unit. ESMC Section 15-15-3(G) requires dwelling units that cumulatively add 1,000 square feet or more to comply with the minimum number of parking spaces required. The proposed amendment clarifies that the additional floor area reference in this section is measured as gross floor area.
- Development Standards for Mixed-Uses (Section 15-15-5). In the last few years, the City completed rezoning efforts to establish the Pacific Coast Commons Specific Plan (2022), the Mixed-Use Overlay zone (2024) and expand the Downtown Specific Plan (2024). These rezoning efforts have expanded the areas where mixed-use developments can occur and the permitted density of those developments. However, the municipal code off-street parking standards have not been updated to clearly address mixed-use developments. Most parking standards address residential and commercial/nonresidential uses separately, which can cause confusion and design challenges when those uses are combined in a single development project. In response, the Director and the Planning Commission recently approved an Administrative Determination to treat mixed-use projects as nonresidential/commercial uses for the purpose of parking standard compliance. The proposed amendment will incorporate this determination into the municipal code and will affect the following parking

standards:

- Parking Space Location
  - Parking Space Dimensions
  - Compact Spaces
  - Tandem Spaces
  - Driveway and Curb Cuts
  - Parking Structure Standards
  - Covered Parking
  - Residential Garage Openings
  - Vehicle Lifts
- 
- Required Parking Spaces (Section 15-15-6)
    - Establishes a parking requirement for art, performing art, and fitness studios. The municipal code does not have a parking rate for these uses and, as mentioned earlier in this report, they do not have the same parking demand as large assembly uses or fitness centers/gyms. As a result, the proposed amendment will establish a parking requirement of 1 space for each 300 square feet, which is equal to the requirement for retail sales and service uses. A clear parking rate for these uses that is consistent with other compatible uses will facilitate the establishment of these community-serving uses.

## **Rooftop Decks on Residential Structures**

In addition to the above-described amendments already included in the draft ordinance (Exhibit No. 2), staff has identified the topic of residential rooftop decks as an area where clarifications/updates may be needed. In the following discussion, staff summarizes the issue and outlines options for the Planning Commission's consideration.

### Introduction

Recently, City staff have received regular inquiries regarding construction of rooftop decks on residential structures. The El Segundo Municipal Code (ESMC) has limited provisions regarding where and/or under what circumstances they are permitted. Staff is seeking the Planning Commission's interpretation of the relevant ESMC provisions and guidance on the regulation of rooftop decks.

### Definition

The ESMC has the following definition for a deck:

"An outdoor platform that can be used as a walking surface and outdoor gathering/activity area, typically extending outward from a house, structure, or other

building."

The ESMC does not have a specific definition for a "rooftop" deck, but for the purposes of this discussion, staff suggests the following definition:

"An outdoor space situated on the roof of a building, often designed for recreational use, a gathering area and/or usable open space, and can include features like seating areas and outdoor kitchens. It differs from a standard rooftop, which primarily serves as a protective surface to the structure, while a rooftop deck is intended for living space and enjoyment. Additionally, it can be defined as a flat portion of a roof used as a walk or terrace."

#### Flat roof versus a rooftop deck from a building code perspective

A flat roof is simply intended to provide a cover and protection from the weather. In contrast, a rooftop deck is intended to be occupied by people for recreation, seating, or other purposes. As a result, the building code addresses some of the following requirements:

- Structural loads. Structural design that can accommodate the increased weight/load
- Guards and Fall Protection. Railing/parapet (42 inches) to protect occupants from falling
- Means of Egress/Access. Permanent stairway access, either interior or exterior. Pull-down stairs and/or ladders do not suffice
- Minimum electrical wiring and lighting for safety

#### Relevant ESMC Provisions

- ESMC 15-1-6: Definition of Building Height or Structure Height

"The vertical distance measured from the grade plane to the highest point of the roof or parapet. See features listed in section [15-2-3](#) of this title for exceptions to building height."

- ESMC Section 15-2-3: Exceptions to building height

This section describes what structures and/or architectural features are allowed to exceed the maximum permitted building height as defined elsewhere in the code. It also makes specific reference to non-permanent accessories, such as umbrellas, barbeques, and seating, that can be installed on a roof deck above the permitted height. Notably, a parapet wall is not listed as an exception, which is consistent with the building height definition above.

- ESMC Section 15-4B-3(D)(3): Setbacks for Detached Accessory Structures in

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the Single-family residential (R-1) zone on Lots Wider than 25 Feet

This section sets additional setback and safety requirements (railing) for rooftop decks on top of single-story detached accessory structures. Notably, the code states that rooftop decks are permitted only on single-story accessory structures or on single-story portions of two-story accessory structures.

“Rooftop decks with required railings are permitted on single-story accessory structures and on top of the single-story portions of two-story accessory structures. Rooftop decks are not permitted on top of two-story accessory structures. Rooftop decks must maintain a minimum side yard setback of 10 percent of the width of the lot, plus an additional setback of two feet but can never be less than five feet, as measured from the property line to the required railing of the rooftop deck.”

- ESMC Section 15-4B-3(F) Floor Area Ratio (FAR) in the Single-family residential (R-1) zone; on Lots Wider than 25 Feet

This subsection describes when decks in general are included or excluded from the FAR calculations, whether they are on the first or second floor. The code language doesn't distinguish between primary and accessory structures (both count towards the FAR), which implies that decks would be permitted on primary structures (on the first or second floor), in addition to detached structures, which are specifically mentioned in the previous code section.

- ESMC Section 15-1-3 Permissive Ordinance

This section defines the Zoning Code (ESMC Title 15) as a permissive ordinance. "This title shall be considered a permissive ordinance, whereby only those uses or facilities that are listed are hereby allowed, except as provided through an administrative determination, an administrative use permit, or other discretionary action."

#### Interpretations of ESMC Provisions

Based on code provisions cited above, a ***strict interpretation*** of the code would conclude that rooftop decks are permitted in the following circumstances:

- Zones. Only in the R-1 zone
- Lot Width. Only on lots wider than 25 feet
- Primary versus accessory structures. Only on detached accessory structures\*
- Only on top of single-story accessory structures or single-story portions of accessory structures

\*The R-1 zone FAR provisions state that uncovered decks on the second floor of structures (on top of the first floor) do not count toward the maximum FAR, which implies that they are permitted. But those provisions do not state clearly whether second floor decks are permitted on the primary structure.

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In practice, over the last 20 years, the City has issued construction permits for rooftop decks on properties and structures outside the limits set in the code sections outlined above. There are several examples of permits issued for rooftop decks in the following circumstances:

- Zones: In the R-1, R-2, and R-3 zones
- Lot width: On 25-foot lots and wider lots
- On primary and accessory structures
- On top of the first floor and the second floor

Rooftop decks were approved through ministerial building permits as well as discretionary permits at the Planning Commission and City Council level. In certain cases, the approved rooftop decks provide required private open space for units in multi-family development projects. In addition, the 540 East Imperial Avenue Specific Plan (540 EIASP) includes specific provisions regarding rooftop decks on the multi-family portion of the specific plan area that fronts along Impaerial Avenue.

Options for Discussion

Based on the relevant code provisions and permit records presented above, there are several options for regulating rooftop decks:

*A Strict interpretation.*

Based on the current code provisions, determine that rooftop decks are only permitted in the following limited circumstances:

- Only in the R-1 zone
- Only on lots wider than 25 feet
- On detached accessory structures, on top of the first story or single-story portion; subject to the additional setbacks specified in the code.
- On primary structures, on the first and second story only; not above the second story.

*A Liberal Interpretation or Administrative Determination.*

Determine that rooftop decks are a customarily permitted incidental/accessory use to a dwelling unit similar to balconies, porches, patios, etc., and they are permitted in all zones and structures provided they meet the relevant development standards (height, setbacks, FAR, etc).

*A Code Amendment.*

*Prepare an ESMC amendment to explicitly state and/or clarify where and under what circumstances rooftop decks are permitted.*

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1. Select zones: R-1, R-2, R-3, Overlays, etc.
2. Narrow versus wide lots
3. Primary versus detached accessory structures
4. Select which story: At grade, above first story, above second story, etc.
5. Select setbacks: Same as overall structure or additional setbacks as in the R-1 zone

The draft ordinance attached to this report (Exhibit No. 2) does not include any changes related to rooftop decks. However, staff has identified this subject as an area where the ESMC is not entirely clear, and staff requests the Planning Commission's guidance on administering the existing code or its direction on amending the code to more clearly regulate rooftop decks.

### **General Plan Consistency**

Zoning Code Section 15-1-1 (Purpose, Title) states that the Zoning Code is the primary tool for implementation of the goals, objectives, and policies of the El Segundo General Plan. Accordingly, the Planning Commission must find that the proposed Zone Text Amendment is consistent with those goals, objectives, and policies. Planning staff finds the amendment is consistent with following goals, objectives, and policies:

- The proposed Ordinance is consistent with Objective LU3-2 of the General Plan Land Use Element in that it would simplify and clarify the development standards in the city's residential zones, while preserving the City's low-medium density residential nature;
- The proposed Ordinance is consistent with Objective LU4-4 to provide areas where development has the flexibility to mix uses, in that it would simplify and clarify parking standards for mixed-use developments.
- The proposed Ordinance is consistent with Goal ED2-2 of the General Plan Economic Development Element in that would simplify and standardize development standards for businesses and residential uses and thereby helping streamline the development process for the business and the residential community.
- The proposed Ordinance is consistent with Program 3 of the General Plan Housing Element in that it would clarify the development standards and permit process for accessory dwelling units, junior accessory dwelling units, Urban Lot Splits, the Mixed-Use Overlay, and the Housing Overlay, and thereby assist in the production of affordable housing.

### **Zone Text Amendment Findings**

In accordance with ESMC Chapter 15-27 (Amendments), and based on the findings set forth above, the Planning Commission must find that the proposed ordinance is

**Zoning Code Clean-up Ordinance  
EA 1398 and ZTA 25-04  
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consistent with and necessary to carry out the purpose of the ESMC as follows:

1. The Ordinance is consistent with the purpose of the ESMC, which is to serve the public health, safety, and general welfare and to provide the economic and social advantages resulting from an orderly planned use of land resources.
2. The Ordinance is necessary to serve the public health, safety, and general welfare by facilitating the development process and to ensure the orderly development of buildings, parking areas, landscaping, and the location of uses in the City. The intent of the Ordinance is to update and clarify definitions of terms, the permitted uses, and the development standards in various zones. It will facilitate and expedite the development process and provide economic and social benefits resulting from the orderly planned use of land resources, all in furtherance of the public health, safety, and general welfare.

**ENVIRONMENTAL CONSIDERATION**

Pursuant to the provisions of CEQA, and the CEQA Guidelines, the proposed Ordinance is exempt from further review. Specifically, it is exempt under CEQA Guidelines § 15060(c)(3) (the activity is not a project as defined in § 15378) because it has no potential for resulting in a physical change to the environment, directly or indirectly, and CEQA Guidelines § 15601(b)(3) because the Ordinance includes minor changes to the zoning code; no development is authorized with this action, and it can be seen that there is no possibility of significant environmental impacts.

**CITY STRATEGIC PLAN COMPLIANCE:**

Goal 5: Champion Economic Development and Fiscal Sustainability

Strategy D: Implement community planning, land use, and enforcement policies that encourage growth while preserving El Segundo's quality of life and small-town character.

**PREPARED BY:**

Paul Samaras, AICP, Principal Planner

**REVIEWED BY:**

Eduardo Schonborn, AICP, Planning Manager

**APPROVED BY:**

Michael Allen, AICP, Community Development Director

**ATTACHED SUPPORTING DOCUMENTS:**

1. Resolution No. 2975

**Zoning Code Clean-up Ordinance  
EA 1398 and ZTA 25-04  
April 23, 2026  
Page 15 of 15**

2. Draft Ordinance

**RESOLUTION NO. 2975**

**A RESOLUTION RECOMMENDING THAT THE CITY COUNCIL ADOPT AN ORDINANCE AMENDING EL SEGUNDO MUNICIPAL CODE (“ESMC”) TITLE 15 TO CLARIFY DEFINITIONS, PERMITTED USES AND DEVELOPMENT STANDARDS IN VARIOUS ZONES (CLEAN-UP ORDINANCE).**

**(ENVIRONMENTAL ASSESSMENT NO. 1398 AND ZONE TEXT AMENDMENT NO. 25-04)**

The Planning Commission of the City of El Segundo does resolve as follows:

SECTION 1: The Planning Commission finds and declares that:

- A. On June 6, 2025, the City initiated the process to amend various sections of El Segundo Municipal Code (“ESMC”) Title 15, i.e., the City’s Zoning Code.
- B. The City reviewed the project's environmental impacts under the California Environmental Quality Act (Public Resources Code §§ 21000, *et seq.*, “CEQA”) and the regulations promulgated thereunder (14 Cal. Code of Regulations §§15000, *et seq.*, the “CEQA Guidelines”);
- C. The Community Development Department completed its review and scheduled a public hearing regarding the application before the Planning Commission for April 23, 2026;
- D. April 23, 2026, the Planning Commission held a duly noticed public hearing to receive public testimony and other evidence regarding the proposed ordinance, including, without limitation, information provided to the Planning Commission by City staff and public testimony; and,
- E. This Resolution and its findings are made based upon the evidence presented to the Commission at its April 23, 2026, hearing including, without limitation, the staff report submitted by the Community Development Department and the totality of the evidence in the administrative record.

SECTION 2: *Factual Findings and Conclusions.* The Planning Commission finds, without limitation, that the proposed Zone Text Amendment ordinance (“Ordinance”) would result in the following:

- A. Amend ESMC § 15-1-6 to update and add definitions of terms;
- B. Amend ESMC § 15-2-3 regarding Exceptions to Building Height to update references to other ESMC Chapters;
- C. Amend ESMC § 15-2-10 regarding Temporary Buildings;

- D. Amend ESMC Subsection 15-4B-3D (R-1 Zone Site Development Standards for Lots Wider Than Twenty-Five Feet: Setbacks) to clarify language regarding permitted encroachments into front yard setbacks;
- E. Amend ESMC Subsection 15-4B-3F (R-1 Zone Site Development Standards for Lots Wider Than Twenty-Five Feet: Minimum Unit Size and Floor Area Ratio) to clarify the minimum unit size;
- F. Amend ESMC Subsection 15-4B-3-1D (R-1 Zone Site Development Standards for Lots Twenty-Five Feet or Less: Setbacks) to clarify the extent of permitted encroachments in the front yard setback;
- G. Amend ESMC Subsection 15-4C-3D (R-2 Zone Site Development Standards: Setbacks) to clarify the extent of permitted encroachments in the front yard setback;
- H. Amend ESMC Subsection 15-4C-3(J) (R-2 Zone Detached Accessory Buildings) to clarify the maximum floor area and height for detached accessory buildings;
- I. Amend ESMC Subsection 15-4C-4 (R-2 Zone Landscaping) to establish minimum landscaping requirements in the front yard;
- J. Amend ESMC Subsection 15-4D-3D (R-3 Zone Site Development Standards: Setbacks) to clarify the extent of permitted encroachments in the front yard setback;
- K. Amend ESMC § 15-4E-2 (ADU General Requirements) to clarify the minimum rental term for accessory dwelling units;
- L. Amend ESMC § 15-4E-3 (ADU Development Standards) to clarify the maximum floor area for accessory dwelling units;
- M. Amend ESMC § 15-4E-5 (ADU Application Process; Fees) to establish a minimum timeframe for deeming an ADU application complete; provide a right of applicants to appeal ministerial determinations or decisions on ADUs; and clarify how the development impact fees are calculated for ADUs;
- N. Amend ESMC § 15-4F-2 (JADU General Requirements) to clarify the owner occupancy requirements and minimum rental period for JADUs;
- O. Amend ESMC § 15-4F-3 (JADU Development Standards) to establish a maximum unit size and require a separate entrance for JADUs from the primary dwelling unit;

- P. Amend ESMC § 15-4F-4 (JADU Application Process; Fees) to establish a minimum timeframe for deeming a JADU application complete; provide a right of applicants to appeal ministerial determinations or decisions on JADUs; and exempt JADUs from the City's development impact mitigation fees, utility connection fees, and capacity charges;
- Q. Amend ESMC Article 15-4G (Two-Unit Residential Developments and Urban Lot Splits in Single-Family Residential (R-1) Zones) to clarify the setback, floor area, parking, landscaping, and vehicular access requirements for Urban Lot Splits;
- R. Amend ESMC Article 15-5A (Permitted Uses in Commercial Zones) to add restrictions on Office Worker-oriented Service uses, and to add Studios for Art, Performing Art, and Fitness to the permitted uses;
- S. Amend ESMC Article 15-6A (Permitted Uses in Industrial Zones) to correct a code section reference related to Emergency Shelter standards;
- T. Amend ESMC Article 15-7C (Mixed-Use Overlay (MU-O) Zone) to clarify the standards for setbacks, density, building frontage, massing modulation, and parking;
- U. Amend ESMC Article 15-7C (Housing Overlay (H-O) Zone) to clarify the standards for setbacks, building frontage, massing modulation, and parking;
- V. Amend ESMC § 15-15-5 (Parking Area Development Standards) to clarify the application of the Parking Area Development Standards to mixed-use projects and zones; and
- W. Amend ESMC Subsection 15-15-6(A) (Automobile Spaces Required) to establish a parking ratio for Art, Performing Art, and Fitness Studios.

**SECTION 3: *General Plan Findings.*** As required under Government Code § 65860, the ESMC amendments proposed by the Ordinance are consistent with the El Segundo General Plan as follows:

- A. The proposed Ordinance is consistent with Objective LU3-2 of the General Plan Land Use Element in that it would simplify and clarify the development standards in the city's residential zones, while preserving the City's low-medium density residential nature;
- B. The proposed Ordinance is consistent with Objective LU4-4 to provide areas where development has the flexibility to mix uses, in that it would simplify and clarify parking standards for mixed-use developments.

- C. The proposed Ordinance is consistent with Goal ED2-2 of the General Plan Economic Development Element in that would simplify and standardize development standards for businesses and residential uses and thereby helping streamline the development process for the business and the residential community.
- D. The proposed Ordinance is consistent with Program 3 of the General Plan Housing Element in that it would clarify the development standards and permit process for accessory dwelling units, junior accessory dwelling units, Urban Lot Splits, the Mixed-Use Overlay, and the Housing Overlay, and thereby assist in the production of affordable housing.

SECTION 4: Zone Text Amendment Findings. In accordance with ESMC Chapter 15-27 (Amendments), and based on the findings set forth above, the proposed Ordinance is consistent with and necessary to carry out the purpose of the ESMC as follows:

- A. The Ordinance is consistent with the purpose of the ESMC, which is to serve the public health, safety, and general welfare and to provide the economic and social advantages resulting from an orderly planned use of land resources.
- B. The Ordinance is necessary to serve the public health, safety, and general welfare by facilitating the development process and ensure the orderly development of buildings, parking areas, landscaping, and the location of uses in the City. The intent of the Ordinance is to clarify and simplify definitions of terms, the permitted uses, and the development standards in various zones. It will facilitate and expedite the development process and provide economic and social benefits resulting from the orderly planned use of land resources, all in furtherance of the public health, safety, and general welfare.

SECTION 5: Environmental Assessment. Pursuant to the provisions of CEQA, and the CEQA Guidelines, the proposed Ordinance is exempt from further review. Specifically, it is exempt under CEQA Guidelines § 15060(c)(3) (the activity is not a project as defined in § 15378) because it has no potential for resulting in a physical change to the environment, directly or indirectly and CEQA Guidelines § 15601(b)(3) because the Ordinance includes minor changes to the zoning code; no development is authorized with this action, and it can be seen that there is no possibility of significant environmental impacts.

SECTION 6: Recommendations. The Planning Commission recommends that the City Council adopt the Ordinance attached as Exhibit "A" which would implement the Zone Text Amendment.

SECTION 7: *Reliance on Record.* Each and every one of the findings and determination in this Resolution are based on the competent and substantial evidence, both oral and written, contained in the entire record relating to the project. The findings and determinations constitute the independent findings and determinations of the Planning Commission in all respects and are fully and completely supported by substantial evidence in the record as a whole.

SECTION 8: *Limitations.* The Planning Commission's analysis and evaluation of the project is based on information available at the time of the decision. It is inevitable that in evaluating a project that absolute and perfect knowledge of all possible aspects of the project will not exist. In all instances, best efforts have been made to form accurate assumptions.

SECTION 9: This Resolution will remain effective unless and until superseded by a subsequent resolution.

SECTION 10: The Commission secretary is directed to mail a copy of this Resolution to any person requesting a copy.

PASSED AND ADOPTED this \_\_\_\_ day of April 2026.

\_\_\_\_\_  
Kevin Maggay, Chair  
City of El Segundo Planning Commission

ATTEST:

\_\_\_\_\_  
Michael Allen, Secretary and  
Community Development Director

Maggay -  
Inga -  
Christian -  
McCaverty -  
Taylor -

APPROVED AS TO FORM:  
Mark D. Hensley, City Attorney

By: \_\_\_\_\_  
David King, Assistant City Attorney

**RESOLUTION NO. 2975  
EXHIBIT "A"**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING TITLE 15 OF THE EL SEGUNDO MUNICIPAL CODE TO CLARIFY DEFINITIONS, PERMITTED USES AND DEVELOPMENT STANDARDS IN VARIOUS ZONES (CLEAN-UP ORDINANCE).**

**(ENVIRONMENTAL ASSESSMENT NO. 1398 AND ZONE TEXT AMENDMENT NO. 25-04)**

The City Council of the city of El Segundo does ordain as follows:

SECTION 1: The Council finds and declares as follows:

- A. On June 6, 2025, the City initiated the process to amend various sections of El Segundo Municipal Code ("ESMC") Title 15, i.e., the City's Zoning Code.
- B. The City reviewed the project's environmental impacts under the California Environmental Quality Act (Public Resources Code §§ 21000, *et seq.*, "CEQA") and the regulations promulgated thereunder (14 Cal. Code of Regulations §§15000, *et seq.*, the "CEQA Guidelines");
- C. The Community Development Department completed its review and scheduled a public hearing regarding the application before the Planning Commission for April 23, 2026;
- D. On April 23, 2026, the Planning Commission held a public hearing to receive public testimony and other evidence regarding the Ordinance including, without limitation, information provided to the Planning Commission by city staff; and, adopted Resolution No. 2975 recommending that the City Council approve this Ordinance;
- E. On May 19, 2026, the City Council held a public hearing and considered the information provided by City staff and public testimony regarding this Ordinance; and
- F. This Ordinance and its findings are made based upon the entire administrative record including, without limitation, testimony and evidence presented to the City Council at its May 19, 2026 hearing and the staff report submitted by the Community Development Department.

SECTION 2: Factual Findings and Conclusions. The City Council finds that adopting the proposed Ordinance would result in the following:

- A. Amend ESMC § 15-1-6 to update and add definitions of terms;
- B. Amend ESMC § 15-2-3 regarding Exceptions to Building Height to update references to other ESMC Chapters;
- C. Amend ESMC § 15-2-10 regarding Temporary Buildings;
- D. Amend ESMC Subsection 15-4B-3D (R-1 Zone Site Development Standards for Lots Wider Than Twenty-Five Feet: Setbacks) to clarify language regarding permitted encroachments into front yard setbacks;
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- Q. Amend ESMC Article 15-4G (Two-Unit Residential Developments and Urban Lot Splits in Single-Family Residential (R-1) Zones) to clarify the setback, floor area, parking, landscaping, and vehicular access requirements for Urban Lot Splits;
- R. Amend ESMC Article 15-5A (Permitted Uses in Commercial Zones) to add restrictions on Office Worker-oriented Service uses, and to add Studios for Art, Performing Art, and Fitness to the permitted uses;
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- V. Amend ESMC § 15-15-5 (Parking Area Development Standards) to clarify the application of the Parking Area Development Standards to mixed-use projects and zones; and
- W. Amend ESMC Subsection 15-15-6(A) (Automobile Spaces Required) to establish a parking ratio for Art, Performing Art, and Fitness Studios.

**SECTION 3: *General Plan Findings.*** As required under Government Code § 65860, the ESMC amendments proposed by the Ordinance are consistent with the El Segundo General Plan as follows:

- A. The proposed Ordinance is consistent with Objective LU3-2 of the General Plan Land Use Element in that it would simplify and clarify the development standards in the city's residential zones, while preserving the City's low-medium density residential nature;

- B. The proposed Ordinance is consistent with Objective LU4-4 to provide areas where development has the flexibility to mix uses, in that it would simplify and clarify parking standards for mixed-use developments.
- C. The proposed Ordinance is consistent with Goal ED2-2 of the General Plan Economic Development Element in that it would simplify and standardize development standards for businesses and residential uses and thereby helping streamline the development process for the business and the residential community.
- D. The proposed Ordinance is consistent with Program 3 of the General Plan Housing Element in that it would clarify the development standards and permit process for accessory dwelling units, junior accessory dwelling units, Urban Lot Splits, the Mixed-Use Overlay, and the Housing Overlay, and thereby assist in the production of affordable housing.

SECTION 4: Zone Text Amendment Findings. In accordance with ESMC Chapter 15-27 (Amendments), and based on the findings set forth above, the proposed Ordinance is consistent with and necessary to carry out the purpose of the ESMC as follows:

- A. The Ordinance is consistent with the purpose of the ESMC, which is to serve the public health, safety, and general welfare and to provide the economic and social advantages resulting from an orderly planned use of land resources.
- B. The Ordinance is necessary to serve the public health, safety, and general welfare by facilitating the development process and to ensure the orderly development of buildings, parking areas, landscaping, and the location of uses in the City. The intent of the Ordinance is to clarify and simplify definitions of terms, the permitted uses, and the development standards in various zones. It will facilitate and expedite the development process and provide economic and social benefits resulting from the orderly planned use of land resources, all in furtherance of the public health, safety, and general welfare.

SECTION 5: Environmental Assessment. Pursuant to the provisions of CEQA, and the CEQA Guidelines, the proposed Ordinance is exempt from further review. Specifically, it is exempt under CEQA Guidelines § 15060(c)(3) (the activity is not a project as defined in § 15378) because it has no potential for resulting in a physical change to the environment, directly or indirectly and CEQA Guidelines § 15601(b)(3) because the Ordinance includes minor changes to the zoning code; no development is authorized with this action, and it can be seen that there is no possibility of significant environmental impacts.

SECTION 6: The definitions from ESMC § 15-1-6 (Definitions) set forth below are amended in the following particulars:

\* \* \*

ACCESSORY BUILDING OR STRUCTURE: A building or structure that is physically detached from, on the same lot as, and incidental and subordinate to the principal building or structure. "Accessory building or structure" includes, but is not limited to, accessory dwelling units, garages, gazebos, greenhouses, playhouses, storage and tool sheds, pools and workshops.

ACCESSORY DWELLING UNIT: An attached or a detached residential dwelling unit which provides complete independent living facilities for one (1) or more persons. The unit shall include permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel as the single-family dwelling is situated. The term "accessory dwelling unit" includes:

- A. An efficiency unit, as defined in section 17958.1 of the Health and Safety Code.
- B. A manufactured home, as defined in section 18007 of the Health and Safety Code.

ACCESSORY DWELLING UNIT, JUNIOR: A unit that is no more than ~~five hundred~~ 500 square feet of interior livable space in size and contained entirely within an existing single-family structure. A "Junior Accessory Dwelling Unit" may include separate sanitation facilities, or may share sanitation facilities with the existing structure.

\* \* \*

ANIMAL BOARDING: See definition for KENNEL

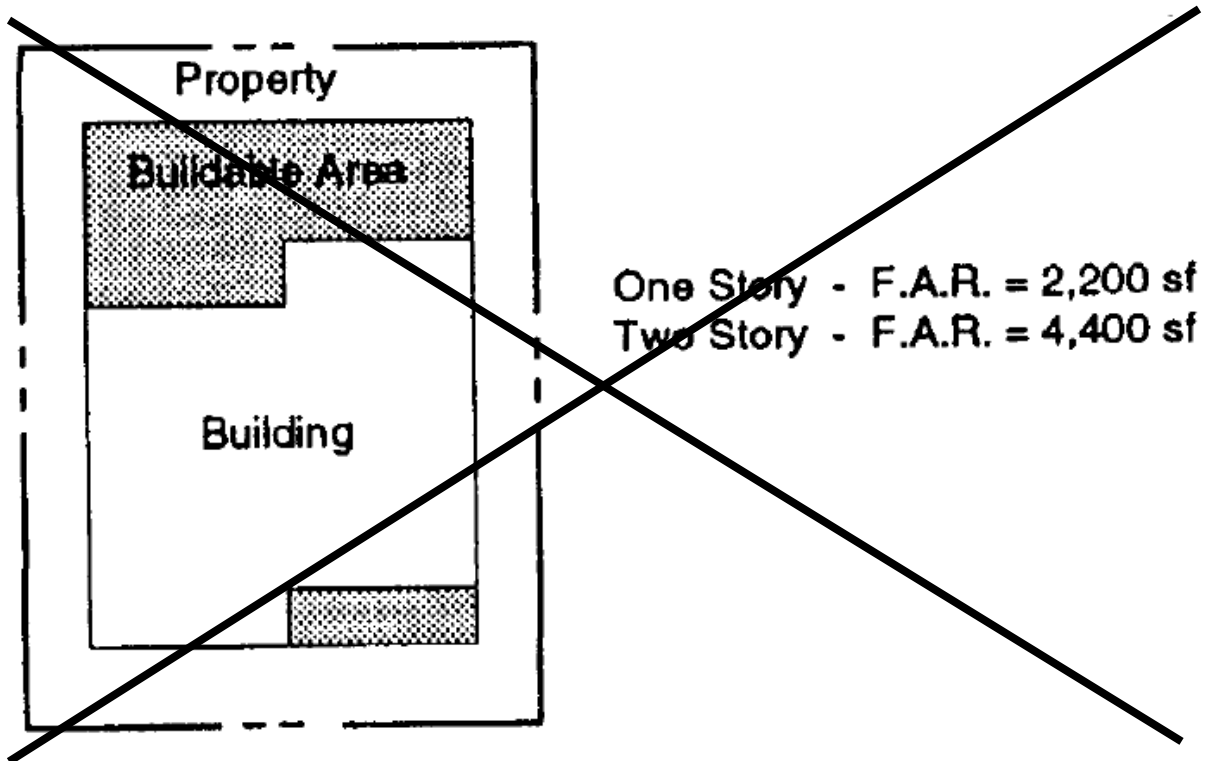
\* \* \*

~~FITNESS CENTER (Also Known As A~~ also known as a FITNESS CLUB, HEALTH CLUB And Commonly Referred To As A or GYM): A place which houses exercise equipment for the purpose of physical exercise. May include saunas, pools, sport courts, fitness studios, and similar facilities as a component of the overall use.

\* \* \*

~~FLOOR AREA: The total horizontal area on all floors, stories or levels, as measured to the interior of a building's perimeter walls, including all floors, stories or levels of the primary dwelling, attached and detached accessory dwelling units, habitable attic space, and accessory buildings. See subsection 15-4A-6F ~~15-4B-3(F)~~ of this title for additional details when calculating "floor area".~~

FLOOR AREA (GROSS): The floor area included within the inside perimeter of the exterior walls of a building or portion thereof, exclusive of garages, vent shafts and courts, without deduction for corridors, stairways, ramps, closets, the thickness of interior walls, columns or other features. The floor area of a building, or portion thereof, not provided with surrounding exterior walls shall be the usable area under the horizontal projection of the roof or floor above, including, without limitation, covered walkways or balconies on upper floors. The gross floor area shall not include shafts with no openings or interior courts, except that elevator shafts shall be included only once on the ground floor.



\* \* \*

HOME OCCUPATION: The partial use of a dwelling unit for commercial or nonresidential uses by a resident thereof which is subordinate and incidental to the use of the dwelling for residential purposes, in compliance with all of the following conditions:

- A. Not more than two hundred (200) square feet located in the dwelling shall be devoted to the home occupation;
- B. There shall be no display of inventory, supplies, materials or merchandise on the premises;
- C. No person shall be employed other than the immediate members of the family who reside on the premises;
- D. No signs in connection with the home occupation, lighted or unlighted, shall be placed on the premises;
- E. The home occupation shall not preempt the required off street parking spaces;
- F. The home occupation shall not generate vehicular traffic not normally associated with residential uses;
- G. No home occupation shall be permitted that creates noise, odor, dust, vibration, fumes, smoke, electrical interference or other objectionable conditions not normally associated with a residential occupancy; and
- H. Notwithstanding the foregoing limitations on home occupations, until December 31, 1972, home occupations shall also include home occupations lawfully in existence on February 28, 1972, pursuant to definition of "certificate of occupancy" of this section as the same read on February 28, 1972. For car share businesses:

- 1. Car share vehicles may not be parked on city streets when listed for availability;
- 2. Pick-up and drop-off may not be conducted on the property;
- 3. Only one vehicle may be used as a car share vehicle as part of a home occupation; and
- I. Notwithstanding the foregoing limitations on home occupations, until December 31, 1972, home occupations shall also include home occupations lawfully in existence on February 28, 1972, pursuant to definition of "certificate of occupancy" of this section as the same read on February 28, 1972.

\* \* \*

LIVABLE SPACE: A space in a dwelling intended for human habitation, including living, sleeping, eating, cooking, or sanitation.

\* \* \*

MIXED-USE PROJECT: A development project that combines allowed residential and non-residential uses into a single development. The uses can be combined in multiple ways, such as each use located on a separate floor or wing of a building or each use in separate buildings on the site.

\* \* \*

OFFICES, GENERAL: Offices maintained and used as a place of business conducted by persons whose business activity consists principally of services to the person as distinguished from the handling of commodities. This does not include medical-dental offices. General offices include, but are not limited to, the following:

- A. Administrative/Business: Establishments providing direct services to consumers, such as credit, lending, and trust agencies, data processing services, detective agencies, employment, insurance agencies, real estate offices, stenographic, secretarial and word processing services, government offices and educational institution offices, union offices and utility company offices.
- B. Broadcasting Offices And Studios: Commercial and public communications uses, including radio and television broadcasting and receiving stations and studios, with facilities entirely within buildings.
- C. Production: Office type facilities occupied by businesses engaged in the production of intellectual property. Production uses include computer software production and programming services, media postproduction services, graphic design, fashion, photography and commercial art studios, writers' and artists' offices.
- D. Professional: Professional offices include accounting; advertising agencies; architectural, engineering, planning and surveying services; attorneys; auditing and bookkeeping services; consulting; corporate; counseling services; court reporting services; educational and tutoring services, not including schools; literary and talent agencies; management and public relations services; scientific and research organizations.

\* \* \*

RECREATIONAL FACILITIES:

A. Public: Public recreational facilities are facilities that are operated by a government agency.

1. Indoor: Examples include, without limitation, indoor entertainment, multipurpose recreational buildings, and studios for dance, art, music, photography, and martial art, performing art, and fitness.

2. Outdoor: Examples include, without limitation, athletic fields, ballparks and bleachers, basketball, racquetball, tennis, and volleyball courts, golf courses, parks and other areas of active or passive recreational usage, swimming pools, trails and bicycle trails.

B. Private/Commercial:

1. Indoor: Examples include, without limitation, arcades, billiard/pool halls, bowling alleys, indoor entertainment, racquetball and tennis courts, and skating rinks, and studios for art, performing art, and fitness.

2. Outdoor: Examples include, without limitation, amusement centers (arcades, skating rinks, miniature golf, and similar uses), golf courses, miniature golf, basketball, racquetball and tennis, and volleyball courts.

\* \* \*

STUDIOS FOR ART, PERFORMING ART, AND FITNESS.

Small-scale facilities, no more than 2,500 gross square feet, that offer individual and group instruction/training in the arts; performing arts, such as dance and music, and production rehearsal; photography, and the processing of photographs produced only by users of the studio facilities. They also include fitness studios that offer instruction/training in martial arts, aerobics, yoga, personal training, indoor cycling, pilates, and gymnastics, or similar activities. These uses are characterized by an open floor space with limited types and/or number of equipment that can be easily moved or brought to the facility by the participants.

\* \* \*

SECTION 7: ESMC § 15-2-3 (Exceptions to Building Height) is amended to read as follows:

Penthouses or roof structures for the housing of elevators, stairways, solar panels and related equipment, or mechanical and similar equipment required to operate and maintain a building, fire escapes, open-work guardrails, skylights, clock towers, church steeples and other similar architectural elements, flagpoles, chimneys, smokestacks, radio antennas, and other similar structures may be erected above the height limits prescribed in this title. Light standards or other light fixtures may be mounted on the roof of a parking structure and must be designed to control glare. Non-permanent accessories, such as furniture, barbeques, or umbrellas placed on a roof deck may be erected up to a maximum eight feet (8') above the height limits prescribed in this title. No such penthouse, structure or accessory is allowed for the purpose of providing additional floor space. Any such structures in Residential Zones shall be for noncommercial purposes only.

An increase in the maximum allowable building height, up to five feet (5'), may be granted by the Director, subject to the approval of an adjustment pursuant to ~~chapter 24~~chapters 22 and 23 of this title.

**SECTION 8:** ESMC § 15-2-10 (Temporary Buildings) is amended to read as follows:

**15-2-10: TEMPORARY BUILDINGS:**

Temporary buildings are prohibited except for the following:

- A. Temporary Real Estate Offices: One (1) temporary real estate office or construction trailer/mobile home may be located on any new subdivision or development site in any zone. The ~~Director of Community Development~~ Director shall be responsible for reviewing and approving said offices or trailer/mobile home, subject to any terms, conditions or special limitations deemed necessary.
- B. Temporary Construction Buildings: Temporary structures, such as shipping/cargo containers, mobile homes or trailers for the housing of tools and equipment or containing supervisory offices in connection with a valid building or other permit issued by the Community Development Department, may be established and maintained as long as the permit is valid, and shall be removed within ~~sixty (60) days~~ after completion, or ~~sixty (60) days~~ after cessation of work.
  - 1. On Single-Family Residential (R-1) and Two-Family Residential (R-2) properties the use of shipping/cargo containers shall be limited to one container (not to exceed 8 feet by 40 feet) per acre. The container location on the property shall be subject to the approval of the Community Development Director.
- C. Other Temporary Structures: Other temporary structures are permitted only in nonresidential zones, pursuant to section 13-1-2 (appendix chapter 31, division II) of this Code. Temporary structures installed or constructed for a period of three (3) months or more must be screened from the public view when required by, and in a manner subject to the approval of, the ~~Director of Community Development~~ Director.

**SECTION 9:** ESMC Subsection 15-4B-3D (R-1 Zone Site Development Standards for Lots Wider Than Twenty-Five Feet: Setbacks) is amended to read as follows:

**D. Setbacks:**

- 1. Front yard: Minimum setback of 22 feet. Front yard setbacks for two car and three car garages located in the front half of a lot must comply with the standards contained in subsection G of this section.
  - a. Permitted front yard setback encroachments:
    - (1) Porches or verandas in a front yard setback ~~not fully enclosed~~ open on three sides (railings and/or columns permitted) may encroach into the front setback a maximum of six feet without limitations to the width of the encroachment;
    - (2) ~~The first floor front yard setback facing exterior wall of a dwelling may encroach up to two feet for a width not exceeding 30 feet when a first floor porch or veranda, not fully enclosed on three sides, is also projecting into the front yard setback. The total amount of encroachment may not exceed~~

six feet in depth combined for both the dwelling structure and a porch or veranda, for a minimum 50 percent of the building width. The ground floor wall of a dwelling up to 30 feet in width or 50 percent of the building width, whichever is less, may encroach up to two feet. Such an encroachment must be built in conjunction with a porch or veranda that covers the full width of the encroaching portion of the dwelling but the porch or veranda may be wider where otherwise permitted. The combined dwelling and porch encroachment may not exceed six feet;

- (3) Raised decks, where the walking surface is not greater than 24 inches above adjacent grade, in conjunction with a lattice deck cover not greater than 10 feet above adjacent grade may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
- (4) Lattice patio covers, pergolas, arbors, or trellises not greater than 10 feet in height (as measured from the lowest adjacent grade to the highest point of the cover) may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
- (5) Architectural elements such as towers or turrets not greater than eight feet in diameter may encroach into the front setback a maximum of four feet;
2. Side yard: Primary structures must maintain a minimum side yard setback of 10 percent of the width of the lot, but can never be less than three feet and need not be more than six feet.
3. Setbacks for detached accessory structures:
  - a. Detached accessory structures, including garages, must maintain a minimum side yard setback of 10 percent of the width of the lot, but may not be less than three feet and need not be more than six feet on the first floor.
  - b. The second floor of a detached accessory structure, including garages, must maintain a minimum side yard setback of 10 percent of the width of the lot plus an additional setback of two feet, but must not be less than five feet and need not be more than eight feet.
  - c. Detached accessory structures, including garages, located in the rear third of the lot, must maintain a minimum side yard setback of two feet on the first floor and five feet on the second floor.
  - d. Detached accessory structures must maintain a minimum rear yard setback of three feet on the first floor and five feet on the second floor.
  - e. Rooftop decks with required railings are permitted on single-story accessory structures and on top of the single-story portions of two-story accessory structures. Rooftop decks are not permitted on top of two-story accessory structures. Rooftop decks must maintain a minimum side yard setback of 10 percent of the width of the lot, plus an additional setback of two feet but can never be less than five feet, as measured from the property line to the required railing of the rooftop deck.
4. Side yard, Reversed Corner: Reversed corner lots must have the following side yard with a triangular area described as follows: One angle must be formed by the rear and street side property lines, and the sides of this angle must be 15 feet in length, measured along the rear and street side property lines. The third side

of this triangle must be a straight line connecting the two other lines at their endpoints. This triangular side yard setback area is in addition to the other side yard setback requirements described in subsections D2 and D3 of this section.

5. Rear yard: Primary structures must maintain a minimum setback of five feet.
6. Exceptions: Notwithstanding the provisions of this subsection D, the west side yard of 618 W. Oak Avenue, more particularly described as the north 142.5 feet of the south 285 feet of the east 50.265 feet of Lot 14, Block 9, Tract No. 1685, commencing 63 feet south of the front lot line and continuing south a distance of 30 feet, must be three inches in width so long as that certain structure located along that 30-foot distance which existed on January 11, 1973, remains in existence. Upon the removal or destruction of said building, this property is no longer exempt from this subsection D.

Notwithstanding the provisions of this subsection D, the south side yard of 724 Penn Street, more particularly described as the south 55 feet of the north 110 feet of Lot 8, Block 92, El Segundo Sheet No. 4, commencing 84 feet east of the front lot line and continuing east a distance of 20 feet, must be three feet in width so long as that certain structure located along that 20 foot distance which existed on January 11, 1973, remains in existence. Upon the removal or destruction of said building, this property is no longer exempt from this subsection D.

**SECTION 10:** ESMC Subsection 15-4B-3(F) (R-1 Zone Site Development Standards for Lots Wider Than Twenty-Five Feet: Minimum Unit Size and Floor Area Ratio) through Subsection 15-4B-3(I) (Detached Accessory Buildings) are amended to read as follows:

F. ~~Minimum Unit Size and Floor Area Ratio:~~ The minimum dwelling unit size gross floor area shall be 250 square feet. ~~and the floor area ratio shall be as follows:~~

G. Maximum Floor Area Ratio (FAR): For the purposes of this subsection only, FAR shall be measured as follows:

1. ~~The maximum total building area overall FAR~~ on the lot shall not exceed an overall floor area ratio (FAR) of 0.60. ~~There is no minimum building size.~~
2. The maximum FAR for the second floor of the primary structure shall not exceed 0.25.
3. In calculating the overall FAR, floor area is measured to the interior of a building's perimeter walls and shall include all floors of the primary dwelling (i.e., main structure), attached and detached accessory dwelling units, habitable attic space, accessory buildings, balconies, decks, verandas, and porches.
4. Areas where the vertical measurement between the floor and ceiling directly above is 14 feet or more shall be counted on both the first and second stories for FAR calculations (areas such as rotundas, spaces with vaulted ceilings, and other similar areas with volume).
5. Stairs and elevators are counted once and are applied to the first floor.
6. For purposes of calculating floor area, the following are not included:
  - a. Basements as defined in section 15-1-6 of this title;
  - b. Up to 500 square feet of interior floor area of an attached or detached garage;

- c. Detached accessory structures measuring not more than 120 square feet;
- d. First floor decks, verandas and porches under 30 inches in height (as measured from adjacent grade to the walking surface).
- e. Up to 500 square feet cumulative of first floor decks, verandas and porches, covered or uncovered, attached or detached, and at least 30 inches in height (as measured from adjacent grade to the walking surface), provided that the deck, veranda or porch is at least 50 percent open on the sides.
- f. Second floor balconies and decks that are not covered.
- g. Up to 12 square feet of second floor decks and balconies that are covered by roof, lattice or trellis.
- h. The area of decks, balconies, verandas or porches covered by eave projections up to 18 inches.

GH. Placement of buildings and structures:

1. A minimum distance of three feet must be maintained between buildings.
2. A detached single-story accessory structure in the rear third of the lot may be located as described in the requirements for setbacks in subsection D of this section, unless one of the following conditions exists:
  - a. Where the lot abuts an alley and the vehicular entrance to the detached accessory structure is from the alley, such detached accessory structure must be set back a distance measured from the opposite side of the alley that will provide a turning radius as follows:
    - 90 degrees - 25 feet
    - 75 degrees - 21 feet
    - 60 degrees - 18 feet
    - 45 degrees - 15 feet
  - b. On the rear third of a reversed corner lot a single-story detached accessory structure may be built to the interior lot side line, but no building may be erected closer than five feet to the property line of any abutting lot to the rear. However, if an alley intervenes and the vehicular entrance to the detached accessory building is directly from the street side, a detached accessory building may be built to the rear lot line.
3. A garage that is attached to a dwelling that is located in the front half of the lot facing the front property line must be set back a minimum of 24 feet from the front property line unless the building has a porch, veranda, or deck at least eight feet in width by four feet in depth, then a minimum front setback of 22 feet is permitted.
4. An attached three-car garage located in the front half of the lot that faces the front property line where one of the stalls is not tandem, must have at least two individual car door openings. The following garage designs are encouraged:
  - a. Three-car garages constructed as attached or detached structures at the rear of a lot.
  - b. Tandem for parking provided in excess of a two-car garage.
  - c. Attached three-car garages located on the front of a dwelling face toward the side property lines.
5. Accessory outdoor showers attached to a building wall are permitted, but must

not encroach in a required setback and must not be roofed. They may be enclosed with walls on three sides and a shower door on one side.

H<sub>1</sub>. Entry orientation:

1. For street-facing lots, at least one entry door to a residential unit must face (be parallel to) and be directly visible from the adjoining street and sidewalk. Alternatively, if the residential unit has an entry door that takes access from a porch or veranda measuring a minimum of four feet by four feet that faces and is directly visible from the adjoining street and sidewalk, the entry door may face the side/interior lot line (be perpendicular to the street and sidewalk).

H<sub>2</sub>. Detached accessory buildings as defined in section [15-1-6](#) of this Title:

1. All detached accessory structures may not exceed 1,200 square feet gross floor area in aggregate per parcel;
2. Except as permitted in Chapter 15-4E related to accessory dwelling units, detached accessory buildings are limited to two (2) stories, and may include an attic, which may be used for storage purposes only, provided that access to the attic is not from permanently fixed stairs (pull down type stairs are permitted), no plumbing is permitted, and electrical fixtures are limited to the minimum required by the California Building Code and California Electrical Code;
3. Unless permitted as an accessory dwelling unit, detached accessory buildings may not contain a kitchen or kitchen facilities, a bathtub or shower and may not be used for sleeping purposes or as an "R" occupancy, as defined by the California Building Code, except that they may contain a sink and a toilet;
4. Unless permitted as an accessory dwelling unit, detached accessory buildings may not be rented or used as a separate dwelling unit; and
5. Before the City issues a building permit for a detached accessory structure, except an accessory dwelling unit, the Director will require that a covenant running with the land be recorded stating that the accessory structure may not be used in violation of this section.

**SECTION 11:** ESMC Subsection 15-4B-3-1D (R-1 Zone Site Development Standards for Lots Twenty-Five Feet or Less: Setbacks) is amended to read as follows:

D. Setbacks:

1. Front yard: Minimum setback of 22 feet.
  - a. Permitted front yard setback encroachments:
    - (1) Porches or verandas in a front yard setback ~~not fully enclosed~~open on three sides (railings and/or columns permitted) may encroach into the front setback a maximum of six feet without limitations to the width of the encroachment;
    - (2) ~~The first floor front yard setback facing exterior wall of a dwelling may encroach up to two feet for a width not exceeding 30 feet when a first floor porch or veranda, not fully enclosed on three sides, is also projecting into the front yard setback. The total amount of encroachment may not exceed six feet in depth combined for both the dwelling structure and a porch or~~

veranda, for a minimum 50 percent of the building width. The ground floor wall of a dwelling up to 30 feet in width or 50 percent of the building width, whichever is less, may encroach up to two feet. Such an encroachment must be built in conjunction with a porch or veranda that covers the full width of the encroaching portion of the dwelling but the porch or veranda may be wider where otherwise permitted. The combined dwelling and porch encroachment may not exceed six feet;

- (3) Raised decks, where the walking surface is not greater than 24 inches above adjacent grade, in conjunction with a lattice deck cover not greater than 10 feet above adjacent grade may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
  - (4) Lattice patio covers, pergolas, arbors, or trellises not greater than 10 feet in height (as measured from the lowest adjacent grade to the highest point of the cover) may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
  - (5) Architectural elements such as towers or turrets not greater than eight feet in diameter may encroach into the front setback a maximum of four feet;
2. Side yard: A minimum of three feet.
  3. Detached accessory structures and garages: Detached accessory structures and attached garages are allowed along the property line on one interior side lot line, provided that the detached accessory structure or attached garage is in the rear one-third of the lot.
  4. Side yard, reverse corner: Reversed corner lots must have a side yard with a triangular area described as follows: One angle must be formed by the rear and street side property lines, and the sides of this angle must be 15 feet in length, measured along the rear and street side property lines. The third side of this triangle must be a straight line connecting the two other lines at their endpoints. This triangular side yard setback area is in addition to the other side yard setback requirements described in subsection D2 of this section.
  5. Rear yard: Primary structures must maintain a minimum setback of five feet on the first and second floors.
  6. Detached accessory structures and garages: Detached accessory structures and garages are allowed a rear yard setback of zero feet on the first story and must maintain a rear yard setback of five feet on the second story.

**SECTION 12:** ESMC Subsection 15-4C-3D (R-2 Zone Site Development Standards: Setbacks) is amended to read as follows:

D. Setbacks:

1. Front yard: Minimum setback of 20 feet.
  - a. Permitted front yard setback encroachments:
    - (1) Porches or verandas in a front yard setback ~~not fully enclosed~~open on three sides (railings and/or columns permitted) may encroach into the front setback a maximum of six feet without limitations to the width of the encroachment;

- (2) ~~The first floor front yard setback facing exterior wall of a dwelling may encroach up to two feet for a width not exceeding 30 feet when a first floor porch or veranda, not fully enclosed on three sides, is also projecting into the front yard setback. The total amount of encroachment may not exceed six feet in depth combined for both the dwelling structure and a porch or veranda, for a minimum 50 percent of the building width.~~ The ground floor wall of a dwelling up to 30 feet in width or 50 percent of the building width, whichever is less, may encroach up to two feet. Such an encroachment must be built in conjunction with a porch or veranda that covers the full width of the encroaching portion of the dwelling but the porch or veranda may be wider where otherwise permitted. The combined dwelling and porch encroachment may not exceed six feet;
- (3) Raised decks, where the walking surface is not greater than 24 inches above adjacent grade, in conjunction with a lattice deck cover not greater than 10 feet above adjacent grade may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
- (4) Lattice patio covers, pergolas, arbors, or trellises not greater than 10 feet in height (as measured from the lowest adjacent grade to the highest point of the cover) may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
- (5) Architectural elements such as towers or turrets not greater than eight feet in diameter may encroach into the front setback a maximum of four feet;
- 2. Side Yard: Structures shall maintain a minimum setback on each side of the lot of 10 percent of the width of the lot, but shall never be less than three feet and need not be more than five feet. ~~Any detached accessory structures, and attached garages on 25-foot wide lots only, located on the rear one-third of the lot are allowed zero setback on one interior side lot line.,~~ except as stated below:
  - a. On 25-foot wide lots only, detached accessory structures and attached garages located on the rear one-third of the lot are allowed zero setback on one interior side lot line.
- 3. Side Yard, Reversed Corner: Reversed corner lots shall have the following side yard with a triangular area described as follows: one angle shall be formed by the rear and street side property lines, and the sides of this angle shall be 15 feet in length, measured along the rear and street side property lines. The third side of this triangle shall be a straight line connecting the two other lines at their endpoints. This triangular side yard setback area shall be in addition to the other side yard setback requirements described in subsection D2 of this section.
- 4. Rear Yard: A minimum of five feet. Detached accessory structures are allowed zero setback on the rear property line. A dwelling unit above a garage where the vehicular entrance is from an alley shall maintain a minimum one-foot setback.

SECTION 13: ESMC Subsection 15-4C-3(J) (R-2 Zone Detached Accessory Buildings) is amended to read as follows:

J. Detached accessory buildings:

1. All detached accessory structures, including garages, shall not exceed 1,200 square feet of gross floor area in aggregate per parcel.
2. Except as permitted in Chapter 15-4E related to accessory dwelling units, detached accessory buildings shall be limited to one floor, but may include an attic, which may be used for storage purposes only, provided access to the attic is not from permanently fixed stairs (pull down type stairs are permitted), no plumbing is permitted, and electrical fixtures are limited to the minimum required by the California Building Code and California Electrical Code.
3. Unless permitted as an accessory dwelling unit, detached accessory buildings shall not contain a kitchen or kitchen facilities, a bathtub or shower and shall not be used for sleeping purposes or as an "R" occupancy, as defined by the California Building Code, except that they may contain a sink and a toilet.
4. Unless permitted as an accessory dwelling unit, detached accessory buildings shall not be rented or used as a separate dwelling unit.
5. Prior to issuance of a building permit for a detached accessory structure, except an accessory dwelling unit, the Director shall require the recording of a covenant to run with the land, which states that the accessory structure shall not be used in violation of this section.

SECTION 14: ESMC Subsection 15-4C-4 (R-2 Zone Landscaping) is amended to read as follows:

**15-4C-4: LANDSCAPING:**

Landscaping and irrigation must be provided within the front yard and street side setback areas, except for those portions devoted to vehicular parking. Those setback areas ~~fronting upon a public street~~ must incorporate a combination of softscape and hardscape in the landscape, ~~except for those portions devoted to vehicular parking~~. ~~They~~The landscaping may contain artificial turf or synthetic grass provided that it: 1) is not harmful to the environment (such as containing lead based or other hazardous materials); 2) includes a pervious surface to address percolation, drainage, runoff, and stormwater detention requirements; and 3) is incorporated into a comprehensive landscaping design and site plan.

A. A minimum of 25 percent of the front yard setback area must be maintained with permanent landscaping that contains a combination of lawn, trees, vines, bushes and ground covers, and does not include hardscape materials for lots less than 50 feet in width.

B. A minimum of 35 percent of the front yard setback area must be maintained with permanent landscaping that contains a combination of lawn, trees, vines, bushes and ground covers, and does not include hardscape materials for lots that are 50 feet or greater in width.

C. A minimum of one 24-inch box tree with irrigation must be planted and maintained in the front yard in conjunction with the construction of a new primary dwelling unit.

SECTION 15: ESMC Subsection 15-4D-3D (R-3 Zone Site Development Standards: Setbacks) is amended to read as follows:

D. Setbacks:

1. Front yard: Structures must maintain a minimum setback of 15 feet. Entry gates for vehicular access must maintain a minimum set setback of 20 feet.
    - a. Permitted front yard setback encroachments:
      - (1) Porches or verandas in a front yard setback ~~not fully enclosed~~open on three sides (railings and/or columns permitted) may encroach into the front setback a maximum of six feet without limitations to the width of the encroachment;
      - (2) ~~The first floor front yard setback facing exterior wall of a dwelling may encroach up to two feet for a width not exceeding 30 feet when a first floor porch or veranda, not fully enclosed on three sides, is also projecting into the front yard setback. The total amount of encroachment may not exceed six feet in depth combined for both the dwelling structure and a porch or veranda, for a minimum 50 percent of the building width~~The ground floor wall of a dwelling up to 30 feet in width or 50 percent of the building width, whichever is less, may encroach up to two feet. Such an encroachment must be built in conjunction with a porch or veranda that covers the full width of the encroaching portion of the dwelling but the porch or veranda may be wider where otherwise permitted. The combined dwelling and porch encroachment may not exceed six feet;
      - (3) Raised decks, where the walking surface is not greater than 24 inches above adjacent grade, in conjunction with a lattice deck cover not greater than 10 feet above adjacent grade may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
      - (4) Lattice patio covers, pergolas, arbors, or trellises not greater than 10 feet in height (as measured from the lowest adjacent grade to the highest point of the cover) may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
      - (5) Architectural elements such as towers or turrets not greater than eight feet in diameter may encroach into the front setback a maximum of four feet;
  2. Side yard facing a side street: A minimum of 10 percent of the width of the lot, but not less than three feet and not more than five feet, except if parking garages or covered parking spaces face a street, then the setback shall be 20 feet.
  3. Side yard facing an adjacent lot: A minimum of 10 percent of the width of the lot on each side of the lot, but not less than three feet and need not be more than five feet. ~~Detached accessory structures, located in the rear one-third of the lot, are allowed zero setback on one interior side lot line.~~, except as stated below:
    - a. Detached accessory structures located in the rear one-third of the lot, are allowed zero setback on one interior side lot line.
4. Side yard, reversed corner: Reversed corner lots shall have a side yard with a triangular area described as follows: one angle shall be formed by the rear and street side property lines, and the sides of this angle shall be 15 feet in length,

measured along the rear and street side property lines. The third side of this triangle shall be a straight line connecting the two other lines at their endpoints. This triangular side yard setback area shall be in addition to the other side yard setback requirements described in subsections D2 and D3 of this section.

5. Rear Yard: A minimum of 10 feet.
6. Rear Yard: Detached accessory structures are allowed zero setback on the rear property line ~~and on one interior lot side line in the rear one-third of the lot.~~

**SECTION 16:** ESMC § 15-4E-2(E) (ADU General Requirements: Minimum Rental Term) is amended as follows:

- E. Minimum Rental Term. Rental of the accessory dwelling unit must be for a term of longer than thirty (30) consecutive days ~~or longer.~~

**SECTION 17:** ESMC § 15-4E-3(C) (ADU Development Standards: Building Area) is amended as follows:

- C. Building Area:
  1. Attached to a primary dwelling and/or within the primary dwelling: Maximum of ~~forty-nine percent (49%)~~ 49 percent of the total gross floor area of the combined dwellings.
  2. Detached: Maximum of ~~one thousand two hundred (1,200)~~ square feet of gross floor area.
  3. The total area of the primary dwelling and the accessory dwelling unit may not exceed the maximum permitted floor area of the lot, except when an existing structure is converted to an accessory dwelling unit.
  4. Nothing in this chapter is meant to prohibit an accessory dwelling unit up to ~~eight hundred fifty (850)~~ square feet of interior livable space, or ~~one thousand (1,000)~~ square feet of interior livable space for a two ~~(2)~~-bedroom unit.

**SECTION 18:** ESMC § 15-4E-4 (Development Standards for Government Code Section 66323 ADUs) is amended as follows:

**15-4E-4: DEVELOPMENT STANDARDS FOR GOVERNMENT CODE SECTION 66323 ADUS:**

Notwithstanding Section [15-4E-3](#), the following ADU types or any combination thereof are permitted by right in residential or mixed-use zones and are subject only to the development and/or design standards listed in this section as stated in Government Code Section 66323.

- A. Permitted ADU Types and Standards:
  1. Single-family dwelling - Attached ADUs. One accessory dwelling unit and one junior accessory dwelling unit per lot with a proposed or existing single-family dwelling if all the following apply:
    - a. The accessory dwelling unit or junior accessory dwelling unit is within the proposed space of a single-family dwelling or accessory structure and may

include an expansion of not more than one hundred and fifty (150) square feet beyond the same physical dimensions as the existing accessory structure. An expansion beyond the physical dimensions of the existing accessory structure shall be limited to accommodating ingress and egress.

- b. The space has exterior access from the proposed or existing single-family dwelling.
  - c. The side and rear setbacks are sufficient for fire and safety.
  - d. The junior accessory dwelling unit complies with the requirements of the Government Code Section 66333 et seq.
2. Single-family dwelling - Detached ADUs. One detached, new construction, accessory dwelling unit that does not exceed four-foot (4') side and rear yard setbacks for a lot with a proposed or existing single-family dwelling. ~~The accessory dwelling unit may be combined with a junior accessory dwelling unit described in subparagraph (1), above.~~ These detached accessory dwelling units must meet the following standards:
    - a. ~~The total floor area~~They must not exceed ~~eight hundred (800)~~800 square feet of interior livable space.
    - b. The height must not exceed the maximum permitted height in the Single-Family Residential (R-1) zone.
  3. Multifamily dwelling structures - Attached ADUs.
    - a. Multiple accessory dwelling units within portions of existing multifamily dwelling structures that are not used as livable space, including, but not limited to, storage rooms, boiler rooms, passageways, attics, basements, or garages, if each unit complies with state building standards for dwellings.
    - b. Density. At least one accessory dwelling unit within an existing multifamily dwelling and up to ~~twenty-five~~25 percent (~~25%~~) of the existing multifamily dwelling units.
  4. Multifamily dwelling - Detached ADUs.
    - a. Multiple accessory dwelling units that are located on a lot that has an existing or proposed multifamily dwelling, but are detached from the multifamily dwelling. These detached accessory dwelling units must meet the following standards:
      - (1) The height must not exceed the maximum permitted height in the Single-Family Residential (R-1) zone.
      - (2) The rear and side yard setbacks must be a minimum of four feet (4').
      - (3) On a lot with an existing multifamily dwelling, not more than eight detached accessory dwelling units. However, the number of accessory dwelling units allowable pursuant to this clause shall not exceed the number of existing units on the lot.
      - (4) On a lot with a proposed multifamily dwelling, not more than two (2) detached accessory dwelling units.
    - b. If the existing multifamily dwelling has a rear or side setback of less than four feet (4'), the existing multifamily dwelling is not required to be modified to comply with a minimum setback as a condition of approving the application to construct an accessory dwelling unit that satisfies the requirements of this subparagraph (4).

- B. No additional development or design standards are required for any accessory dwelling unit that meets the requirements of subsection 15-4E-4(A).
- C. Accessory dwelling units that meet the requirements in subsection 15-4E-4(A) must also comply with the General Requirements in Section 15-4E-2.
- D. The installation of fire sprinklers is not required in an accessory dwelling unit if sprinklers are not required for the primary residence. The construction of an accessory dwelling unit shall not trigger a requirement for fire sprinklers to be installed in the existing multifamily dwelling.

SECTION 19: ESMC § 15-4E-5 (ADU Application Process; Fees) is amended as follows:

**15-4E-5: APPLICATION PROCESS; FEES:**

A. Determination of completeness:

1. The Director of Community Development or designee must determine whether an application for a building permit to create or serve an accessory dwelling unit is complete and provide written notice of this determination to the applicant no later than 15 business days after receipt of the application, or the application will be deemed complete.
2. If the Director of Community Development or designee determines an application is incomplete, the Director or designee must provide the applicant with a list of incomplete items and a description of how the application can be made complete. The list and description must be provided with the written notice required above. The application re-submitted in response to an incomplete determination is subject to the timelines and requirements specified in this subsection A.

A.B. Any application for a building permit to create an accessory dwelling unit on a lot with an existing single-family dwelling or multi-family dwelling units shall be ministerially approved or denied by the Director of Community Development or designee within 60 days of the City's receipt of a completed application. If a completed application is not approved or denied within 60 days, the application shall be deemed approved. However, any permit application for an accessory dwelling unit that is submitted with a permit application to create a single-family dwelling shall be considered ministerially but is not subject to the 60 day requirement to allow the City time to act on the permit application to create the new single-family dwelling, if necessary. If the Director or designee denies an application for an ADU, the Director or Designee shall return in writing a full set of comments to the applicant with a list of items that are defective or deficient and a description of how the application can be remedied by the applicant.

C. If the Director of Community Development determines a permit application to be incomplete under subsection A or denied under subsection B, the applicant may appeal that decision pursuant to Section 15-29-2 of Chapter 29, Title 15 of this code, except that the Planning Commission's written determination of the appeal of the Director's decision shall be final and not appealable to the City Council. Such final

determination shall be made in writing no later than 60 business days after receipt of the applicant's written appeal.

~~B.D.~~ For an accessory dwelling unit ~~of~~ with more than 750 square feet or more of interior livable space, the applicant must pay development impact fees imposed pursuant to Chapter 32 of this title, in an amount set by City Council resolution, ~~provided that such~~. Such a development impact fee is ~~must be~~ proportional in relation to the square footage of the primary dwelling unit, or the average square footage of units within a multi-family dwelling structure.

~~C.E.~~ Notwithstanding subsection ~~B~~D above, a previously unpermitted accessory dwelling unit constructed before January 1, 2020, shall not be required to pay impact fees or connection or capacity charges except when utility infrastructure is required to comply with Section 17920.3 of the Health and Safety Code regarding substandard buildings.

SECTION 20: ESMC § 15-4F-2 (Junior Accessory Dwelling Units – General Requirements) is amended to read as follows:

**15-4F-2: GENERAL REQUIREMENTS:**

- A. Permit Required: A permit must be obtained to create a junior accessory dwelling unit.
- B. Density: One (1) junior accessory dwelling unit per residential lot zoned for single-family residences with a single-family residence built, or proposed to be built, on the lot.
- C. Owner Occupancy ~~Required~~: If the junior accessory dwelling unit has shared sanitation facilities with the existing structure, the The owner must reside in the single-family residence in which the junior accessory dwelling unit will be permitted. The owner may reside in either the remaining portion of the structure or the newly created junior accessory dwelling unit. Owner-occupancy shall not be required if the junior accessory dwelling unit has separate sanitation facilities, or if the owner is another governmental agency, land trust, or housing organization.
- D. Recordation ~~Of A~~ of a Deed Restriction Required: The applicant must record a deed restriction which includes both of the following:
  - 1. A prohibition on the sale of the junior accessory dwelling unit separate from the sale of the single-family residence, including a statement that the deed restriction may be enforced against future purchasers.
  - 2. A restriction on the size and attributes of the junior accessory dwelling unit that conforms with this ~~section~~ article.
- E. The City may not condition its approval of the permit application by requiring the applicant correct a non-conforming zoning condition, as that term is defined in

Government Code section 66313. This protection applies to a previously unpermitted junior accessory dwelling unit constructed before January 1, 2020.

F. Minimum Rental Term. Rental of the accessory dwelling unit must be for a term longer than 30 consecutive days.

**SECTION 21:** ESMC § 15-4F-3 (Junior Accessory Dwelling Units – Development Standards) is amended to read as follows:

**15-4F-3: DEVELOPMENT STANDARDS:**

A. A permitted junior accessory dwelling unit must be constructed within the walls of the proposed or existing single-family residence.

B. Maximum Unit Size. A junior accessory dwelling unit, as defined in Section 15-1-6 of this title, may not exceed 500 square feet of interior livable space.

BC. Separate Entrance Required:

1. A junior accessory dwelling must include a separate entrance from the main entrance to the proposed or existing single-family residence.
2. If a permitted junior accessory dwelling unit does not include a separate bathroom, the permitted junior accessory dwelling unit shall include a separate entrance from the main entrance to the structure, with an interior entry to the main living area.

CD. Efficiency Kitchen Required: A junior accessory dwelling unit must include an efficiency kitchen, which shall include all of the following:

1. A cooking facility with appliances.
2. A food preparation counter and storage cabinets that are of reasonable size in relation to the size of the junior accessory dwelling unit.

DE. Parking: No additional parking is required for a junior accessory dwelling unit.

F. The installation of fire sprinklers is not required in a junior accessory dwelling unit if sprinklers are not required for the primary residence. The construction of a junior accessory dwelling unit shall not trigger a requirement for fire sprinklers to be installed in the existing multifamily dwelling.

**SECTION 22:** ESMC § 15-4F-4 (Junior Accessory Dwelling Units – Application Process; Fees) is amended to read as follows:

**15-4F-4: APPLICATION PROCESS; FEES:**

A. Determination of completeness:

1. The Director of Community Development or designee shall determine whether an application for a building permit to create a junior accessory dwelling unit is complete

and provide written notice of this determination to the applicant no later than 15 business days after receipt of the application, or else the application will be deemed complete.

2. If the Director of Community Development or designee determines an application is incomplete, the Director or designee shall provide the applicant with a list of incomplete items, and a description of how the application can be made complete. The application re-submitted in response to an incomplete determination is subject to the timelines and requirements specified in this subsection A.

AB. Any application for a building permit to create a junior accessory dwelling unit on a lot with an existing single-family shall be ministerially approved within ~~sixty~~ (60) days of the City's receipt of a completed application. Any permit application for a junior accessory dwelling unit that is submitted with a permit application to create a new single-family dwelling shall be considered ministerially but is not subject to the ~~sixty~~ (60) 60-day requirement to allow the City time to act on the permit application to create the new single-family dwelling, if necessary.

B. The applicant must pay any applicable fees.

C. If the Director of Community Development determines a permit application to be incomplete under subsection A or denied under subsection B, the applicant may appeal that decision pursuant to Section 15-29-2 of Chapter 29, Title 15 of this code, except that the Planning Commission's written determination of the appeal of the Director's decision shall be final and not appealable to the City Council. Such final determination shall be made in writing no later than 60 business days after receipt of the applicant's written appeal.

D. For a junior accessory dwelling unit, the applicant must pay any applicable fees, except for the development impact fees set forth in chapter 32 of this title.

SECTION 23: ESMC Article 15-4G (Two-Unit Residential Developments and Urban Lot Splits in Single-Family Residential (R-1) Zones) is amended to read as follows:

## **ARTICLE G TWO-UNIT RESIDENTIAL DEVELOPMENTS AND URBAN LOT SPLITS IN SINGLE-FAMILY RESIDENTIAL (R-1) ZONES**

SECTION:

**15-4G-1: Purpose**

**15-4G-2: General Requirements; Eligibility**

**15-4G-3: General Urban Lot Split Development Standards**

**15-4G-4: Development Standards For Lots Wider Than Twenty-Five Feet**

**15-4G-5: Development Standards For Lots Twenty-Five Feet Wide Or Less**

**15-4G-6: Landscaping (All Lots)**

**15-4G-7: Off Street Parking And Loading Spaces (All Lots)**

**15-4G-8: Signs (All Lots)**

**15-4G-9: Vehicular Access (All Lots)**

**15-4G-10: Application Process; Fees**

**15-4G-11: Tenancy**

**15-4G-1: PURPOSE:**

This article is adopted pursuant to Government Code section 65852.6, 65852.21, and 66411.7 for the purpose of implementing the City's regulation of two-unit residential development and/or urban lot splits in the City's Single-Family Residential Zone. Government Code section 65852.21(a) requires the City ministerially approve certain housing developments containing no more than two residential units within a single-family residential zone. Government Code section 66411.7(a) requires that the City ministerially approve a parcel map for an urban lot split, subject to standards set forth in Government Code section 66411.7(a)(1), (2), and (3).

**15-4G-2: GENERAL REQUIREMENTS; ELIGIBILITY:**

- A. Notwithstanding the standards outlined in this Article G of Chapter 4 of Title 15 of this code, all other standards provided in Articles A and B of Chapter 4 of Title 15 of this code will apply, unless prohibited by state law.
- B. A parcel proposed for a subdivision (lot splits) pursuant to this article must meet the requirements in subdivision (a) of Government Code Section 66411.7.
- C. A proposed housing development proposing a two-unit residential development (duplex) pursuant to this article must meet the requirements in subdivision (a) of Government Code Section 65852.21. (Ord. 1672, 5-20-2025)

**15-4G-3: GENERAL URBAN LOT SPLIT DEVELOPMENT STANDARDS:**

All urban lot splits with two-unit residential developments within the R-1 Zone must comply with the R-1 development standards contained in Article 15-4B and the development standards of this Article 15-4G. If there are conflicts between the provisions of Article 15-4B and this Article 15-4G, the provisions of this Section will govern.

- A. Urban lot splits must incorporate all built-form parameters of State of California Government Code Section 66411.7, including:
  - 1. A parcel map that subdivides an existing R-1 parcel will create no more than two new parcels of approximately equal lot area and with one of the two created parcels not smaller than 40 percent of the lot area of the original parcel proposed for subdivision. See Figure 4G-1.
  - 2. Both newly created parcels will be no smaller than 1,200 square feet in gross area.
  - 3. No more than two dwelling units per lot will be constructed on a R-1 urban lot split.

4. Accessory Dwelling Units or Junior Accessory Dwelling Units are prohibited where an Urban Lot Split is also developed with a two-unit residential development pursuant to Sections 15-4G-4 and [15-4G-5](#).

5. A minimum of one off-street parking spaces will be provided per newly constructed dwelling unit. No parking is required if the parcel is located within one-half mile walking distance of a High-quality Transit Corridor or major transit stop or if a car share vehicle is located within one-block of the parcel.

B. Lot line splits will be parallel to public street frontages. See Figure 4G-2.

C. When cross easements across lot split parcels are required to provide access to units, or access to vehicle parking spaces, or access to utilities and utility connections, or access between lot split parcels, or access for any other purpose, a covenant establishing the cross easement acceptable to the Community Development Department must be recorded with the Los Angeles County Recorder upon the filing of the Final Parcel Map described in chapter 14-6 of this code.

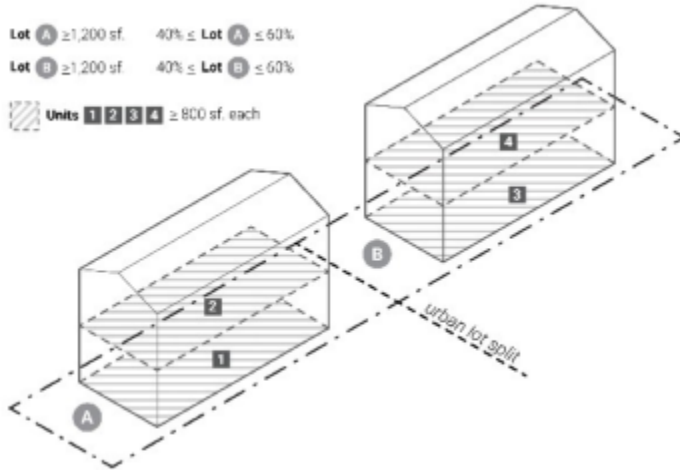


Figure 4G-1

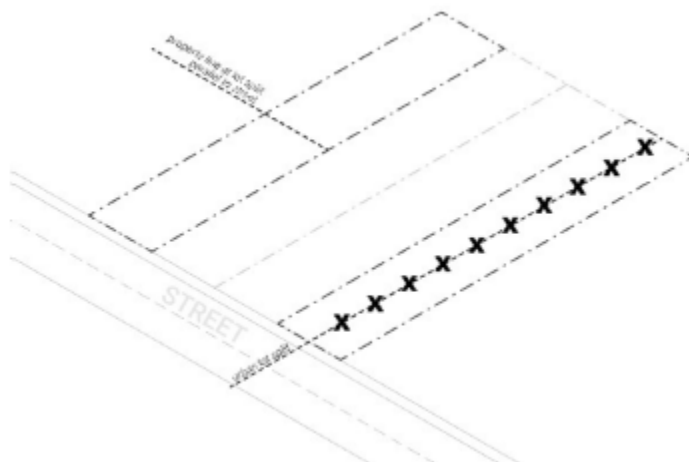


Figure 4G-2

#### **15-4G-4: DEVELOPMENT STANDARDS FOR LOTS WIDER THAN TWENTY-FIVE FEET:**

All two-unit residential developments and urban lot splits on lots that are wider than 25 feet within the R-1 Zone must comply with the development standards contained in this section.

- A. General Provisions: As provided in ESMC Section [15-4B-3](#) (Single-Family Residential Site Development Standards for Lots Wider than Twenty-Five Feet)
- B. Height: As provided in ESMC Section [15-4B-3](#) (Single-Family Residential Site Development Standards for Lots Wider than Twenty-Five Feet)
- C. Lot Area: As provided in ESMC Section [15-4G-3](#) above.
- D. Setbacks:
  - 1. Front Yard:
    - a. Front Lot. The newly created parcel in the front portion of the original lot prior to the lot split must maintain aA minimum setback of 22 feet. Front yard setbacks for two car and three car garages located in the front half of a lot must comply with the standards contained in subsection H of this section.
    - a.—i. Permitted front yard setback encroachments:
      - (1) ~~Porches or verandas in a front yard setback not fully enclosed~~open on three sides (railings and/or columns permitted) may encroach into the front setback a maximum of six feet without limitations to the width of the encroachment;
      - (2) ~~The first floor front yard setback facing exterior wall of a dwelling may encroach up to two feet for a width not exceeding 30 feet when a first floor porch or veranda, not fully enclosed on three sides, is also projecting into the front yard setback. The total amount of encroachment may not exceed six feet in depth combined for both the dwelling structure and a porch or veranda, for a minimum 50 percent of the building width~~The ground floor wall of a dwelling up to 30 feet in width or 50 percent of the building width, whichever is less, may encroach up to two feet. Such an encroachment must be built in conjunction with a porch or veranda that covers the full width of the encroaching portion of the dwelling but the porch or veranda may be wider where otherwise permitted. The combined dwelling and porch encroachment may not exceed six feet;
      - (3) Raised decks, where the walking surface is not greater than 24 inches above adjacent grade, in conjunction with a lattice deck cover not greater than 10 feet above adjacent grade may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
      - (4) Lattice patio covers, pergolas, arbors, or trellises not greater than 10 feet above adjacent grade (as measured from the lowest adjacent

grade to the highest point of the cover) may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;

- (5) Architectural elements such as towers or turrets not greater than eight feet in diameter may encroach into the front setback a maximum of four feet;

b. Rear Lot. The newly created parcel in the rear portion of the original lot prior to the lot split must maintain a minimum setback of four feet from the new property line separating it from the front lot.

2. Side Yard: Primary structures must maintain a minimum setback on each side of the original lot of 10 percent of the width of the lot, but can never be less than three feet and need not be more than four feet.
3. Rear Yard: Primary structures must maintain a minimum setback of four feet on the first and second floors.

Notwithstanding Subsections D.1 through D.3 above, the City may not condition its approval of a two-unit residential development by requiring the applicant to correct a non-conforming setback for an existing structure or a new structure constructed in the same location and to the same dimensions of an existing structure.

4. Setbacks for detached accessory structures: As provided in ESMC Section [15-4B-3](#) (Single-Family Residential Site Development Standards for Lots Wider than Twenty-Five Feet).

E. Lot Width: As provided in ESMC Section 15-4B-3 (Single-Family Residential Site Development Standards for Lots Wider than Twenty-Five Feet).

F. Minimum Unit Size: As provided in ESMC Section [15-4B-3](#) (Single-Family Residential Site Development Standards for Lots Wider than Twenty-Five Feet).

G. Floor Area Ratio (FAR): For the purposes of this subsection only, FAR shall be measured as follows:

1. ~~The maximum total building area~~FAR on the lot shall not exceed ~~an overall floor area ratio (FAR) of 0.60. There is no minimum building size.~~
2. The maximum FAR for the second floor of the primary structure shall not exceed 0.25.
3. In calculating the overall FAR, floor area is measured to the interior of a building's perimeter walls and shall include all floors of the primary dwelling (i.e., main structure), attached and detached accessory dwelling units, habitable attic space, accessory buildings, balconies, decks, verandas, and porches.
4. Areas where the vertical measurement between the floor and ceiling directly above is 14 feet or more shall be counted on both the first and second stories for FAR calculations (areas such as rotundas, spaces with vaulted ceilings, and other similar areas with volume).
5. Stairs and elevators are counted once and are applied to the first floor.
6. For purposes of calculating floor area, the following are not included:
  - a. Basements as defined in section [15-1-6](#) of this title;
  - b. Up to 500 square feet of interior floor area of an attached or detached garage;

- c. Detached accessory structures measuring not more than 120 square feet;
  - d. First floor decks, verandas and porches under 30 inches in height (as measured from adjacent grade to the walking surface).
  - e. Up to 500 square feet cumulative of first floor decks, verandas and porches, covered or uncovered, attached or detached, and at least 30 inches in height (as measured from adjacent grade to the walking surface), provided that the deck, veranda or porch is at least 50 percent open on the sides.
  - f. Second floor balconies and decks that are not covered.
  - g. Up to 12 square feet of second floor decks and balconies that are covered by roof, lattice or trellis.
  - h. The area of decks, balconies, verandas or porches covered by eave projections up to 18 inches.
7. Nothing in this Chapter is meant to prohibit a residential dwelling unit of at least 800 square feet of ~~total~~gross floor area.

H. Placement of buildings and structures: As provided in ESMC Section [15-4B-3](#) (Single-Family Residential Site Development Standards for Lots Wider than Twenty-Five Feet).

I. Entry Orientation: As provided in ESMC Section [15-4B-3](#) (Single-Family Residential Site Development Standards for Lots Wider than Twenty-Five Feet).

J. Detached accessory buildings as defined in section [15-1-6](#) of this Title: As provided in ESMC Section [15-4B-3](#) (Single-Family Residential Site Development Standards for Lots Wider than Twenty-Five Feet).

**15-4G-5: DEVELOPMENT STANDARDS FOR LOTS TWENTY-FIVE FEET WIDE OR LESS:**

All two-unit residential developments and urban lot splits on lots that are 25 feet wide or less within the R-1 Zone must comply with the development standards contained in this section.

A. General Provisions: As provided in ESMC Section [15-4B-3-1](#) (Single-Family Residential Site Development Standards for Lots Twenty-Five Feet Wide or Less).

B. Height: As provided in ESMC Section [15-4B-3-1](#) (Single-Family Residential Site Development Standards for Lots Twenty-Five Feet Wide or Less).

C. Lot area: As provided in ESMC Section [15-4G-3](#) above.

D. Setbacks:

1. Front Yard:

a. Front Lot. The newly created parcel in the front portion of the original lot prior to the lot split must maintain aA minimum setback of 22 feet.

a.—i. Permitted front yard setback encroachments:

- (1) Porches or verandas in a front yard setback ~~not fully enclosed~~open on three sides (railings and/or columns permitted) may encroach into the front setback a maximum of six feet without limitations to the width of the encroachment;
- (2) ~~The first floor front yard setback facing exterior wall of a dwelling may encroach up to two feet for a width not exceeding 30 feet when a first floor porch or veranda, not fully enclosed on three sides, is also projecting into the front yard setback. The total amount of encroachment may not exceed six feet in depth combined for both the dwelling structure and a porch or veranda, for a minimum 50 percent of the building width~~The ground floor wall of a dwelling up to 30 feet in width or 50 percent of the building width, whichever is less, may encroach up to two feet. Such an encroachment must be built in conjunction with a porch or veranda that covers the full width of the encroaching portion of the dwelling but the porch or veranda may be wider where otherwise permitted. The combined dwelling and porch encroachment may not exceed six feet;
- (3) Raised decks, where the walking surface is not greater than 24 inches above adjacent grade, in conjunction with a lattice deck cover not greater than 10 feet above adjacent grade may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
- (4) Lattice patio covers, pergolas, arbors, or trellises not greater than 10 feet above adjacent grade (as measured from the lowest adjacent grade to the highest point of the cover) may encroach into the front yard setback a maximum of six feet in depth and 50 percent of the building width;
- (5) Architectural elements such as towers or turrets not greater than eight feet in diameter may encroach into the front setback a maximum of four feet;

b. Rear Lot. The newly created parcel in the rear portion of the original lot prior to the lot split must maintain a minimum setback of four feet from the new property line separating it from the front lot.

2. Side Yard: A minimum of three feet.
3. Detached accessory structures and garages: Detached accessory structures and attached garages are allowed along the property line on one interior side lot line, provided that the detached accessory structure or attached garage is in the rear one-third of the lot.
4. Rear Yard: Primary structures must maintain a minimum setback of four feet on the first and second floors.
5. Detached accessory structures and garages: Detached accessory structures and garages are allowed a rear yard setback of zero feet on the first story and must maintain a rear yard setback of four feet on the second story.

Notwithstanding Subsections D.1 through D.5 above, the City may not condition its approval of a two-unit residential development by requiring the applicant to correct a non-conforming setback for an existing structure or a new structure constructed in the same location and to the same dimensions of an existing structure.

- E. Lot Width: As provided in ESMC Section [15-4B-3-1](#) (Single-Family Residential Site Development Standards for Lots Twenty-Five Feet Wide or Less).
- F. Minimum Unit Size: As provided in ESMC Section [15-4B-3-1](#) (Single-Family Residential Site Development Standards for Lots Twenty-Five Feet Wide or Less).
- G. Placement of Buildings and Structures: As provided in ESMC Section [15-4B-3-1](#) (Single-Family Residential Site Development Standards for Lots Twenty-Five Feet Wide or Less).
- H. Entry Orientation: As provided in ESMC Section [15-4B-3-1](#) (Single-Family Residential Site Development Standards for Lots Twenty-Five Feet Wide or Less).
- I. Building Wall Modulation: As provided in ESMC Section [15-4B-3-1](#) (Single-Family Residential Site Development Standards for Lots Twenty-Five Feet Wide or Less).
- J. Detached accessory buildings as defined in section [15-1-6](#) of this Title: As provided in ESMC Section [15-4B-3-1](#) (Single-Family Residential Site Development Standards for Lots Twenty-Five Feet Wide or Less).

**15-4G-6: LANDSCAPING (ALL LOTS):**

As provided in ESMC Section [15-4B-4](#) (Single Family Residential Landscaping – All Lots). (Ord. 1672, 5-20-2025)

Landscaping and irrigation must be provided within the front and street side setback areas, except for those portions devoted to vehicular parking. Those setback areas may incorporate a combination of softscape and hardscape in the landscape. The landscaping may also contain artificial turf or synthetic grass provided that it: 1) is not harmful to the environment (such as containing lead based or other hazardous materials); 2) includes a pervious surface to address percolation, drainage, runoff, and stormwater detention requirements; and 3) is incorporated into a comprehensive landscaping design and site plan.

The following provisions apply only to the newly created parcel located in the front portion of the original lot prior to the lot split.

- A. A minimum of 25 percent of the front yard setback area must be maintained with permanent landscaping that contains a combination of lawn, trees, vines, bushes and ground covers, and does not include hardscape materials for lots less than 50 feet in width.

B. A minimum of 35 percent of the front yard setback area must be maintained with permanent landscaping that contains a combination of lawn, trees, vines, bushes and ground covers, and does not include hardscape materials for lots that are 50 feet or greater in width.

C. A minimum of one 24-inch box tree with irrigation must be planted and maintained in the front yard in conjunction with the construction of a new primary dwelling unit.

**15-4G-7: OFF STREET PARKING AND LOADING SPACES (ALL LOTS):**

Off street parking must be provided as required by chapter 15 of this title, except that only a minimum of one off-street parking space must be provided per newly constructed dwelling unit. The required parking space may be fully enclosed, covered, or uncovered. ~~No parking is required if a parcel is located within 1/2 mile walking distance of a High-quality Transit Corridor or major transit stop or if a car share vehicle is located within one block of the parcel. (Ord. 1672, 5-20-2025)~~

**15-4G-8: SIGNS (ALL LOTS):**

As provided in ESMC Section [15-4B-6](#) (Single Family Residential Signs - All Lots).

**15-4G-9: VEHICULAR ACCESS (ALL LOTS):**

- A. Where an R-1 lot subject to an urban lot split abuts an alley, vehicular access to the lot~~both newly created lots~~ must be from the alley.
- B. ~~Where a lot abuts an alley and the vehicular entrance to the structure~~required parking space is from the alley, such vehicular entrance must be set back a distance measured from the opposite side of the alley that will provide a turning radius as follows:

90 degrees	25 feet
75 degrees	21 feet
60 degrees	18 feet
45 degrees	15 feet

C. Curb cuts and driveways must be installed in conformance with ESMC Section [15-15-5](#) (Parking Area Development Standards).

**15-4G-10: APPLICATION PROCESS; FEES:**

Any application for a building permit to create a two-unit residential development or a lot created pursuant to an Urban Lot Split in compliance with this Article on a single-family residential lot will be ministerially approved. Properties developed under this section will be subject to all applicable fees, including development impact fees, and assessments. (Ord. 1672, 5-20-2025)

**15-4G-11: TENANCY:**

- A. Each unit created under this chapter may be rented separately, however rental terms must not be less than 31 consecutive days or allow termination of the tenancy prior to the expiration of at least one 31-day period occupancy by the same tenant.
  
- B. Urban Lot Split: The applicant for an urban lot split must sign an affidavit, in the form approved by the City Attorney, stating that the applicant intends to occupy one of the housing units on the newly created lots as its principal residence for a minimum of three years from the date of the approval of the Urban Lot Split. This subsection does not apply to an applicant that is a “community land trust,” as defined in clause (ii) of subparagraph (C) of paragraph (11) of subdivision (a) of Section 402.1 of the Revenue and Taxation Code or is a “qualified nonprofit corporation” as described in Section 214.15 of the Revenue and Taxation Code. (Ord. 1672, 5-20-2025)

SECTION 24: Article 15-5A (Permitted Uses in Commercial Zones) of ESMC Chapter 15-5 is amended to read as follows:

**ARTICLE A: PERMITTED USES IN COMMERCIAL ZONES**

**15-5A-1: PERMITTED USES:**

Table No. 1 below contains the uses permitted in the CR-S, C-2, C-3, C-4, CO, MU-N, AND MU-S zones, including uses permitted by right, accessory uses, uses subject to an administrative use permit, and uses subject to a conditional use permit.

**Table No. 1 – Permitted uses in commercial zones**

Uses	Zones <sup>1</sup>					
	C-2	C-3	C-4	CO	MU-N	MU-S
* * *						
<b>General Commercial uses</b>						
Adult-oriented businesses per ESMC Chapter 15-13						P
Animal hospitals (and veterinary services)	P	P	P			
* * *						
Multi-media offices		P	P	P	P	P
Office worker-oriented services, <del>not located on Pacific Coast Highway or El Segundo Boulevard</del>				P <sup>9</sup>		
Personal services	P	P	P		P	P
Retail sales	P	P	P		P	P
Service stations		CUP <sup>6</sup>		CUP <sup>6</sup>	CUP <sup>6</sup>	CUP <sup>6</sup>
<u>Studios for art, performing art, and fitness<sup>10</sup></u>	<u>P</u>	<u>P</u>	<u>P</u>			
* * *						
Recreational facilities (public and private)	P	P	P	P	CUP	CUP
* * *						

Notes:

1. P = Permitted use, A = Accessory use, AUP = Use subject to an administrative use permit (Per ESMC Chapters 22 and 23), CUP = Use subject to a conditional use permit (per ESMC Chapters 24 and 28), N = prohibited
2. Drive-through restaurants are permitted with a CUP only east of Pacific Coast Highway.
3. Fitness centers in the C-4 zone are only permitted indoors
4. General offices in the C-3 zone are limited to a maximum gross area of 5,000 square feet
5. Hotels in the CO zone are not permitted west of Pacific Coast Highway
6. Service stations are permitted with a CUP only when located at least 500 feet from any residential zoned property. This distance restriction does not apply to properties east of Pacific Coast Highway
7. Research and development uses in commercial zones are permitted only east of Pacific Coast Highway
8. See ESMC Article 15-7B regarding the Multimedia Overlay (MMO) District and its permitted uses
9. Office worker-oriented services are prohibited along Pacific Coast Highway and El Segundo Boulevard and include uses such as:
  - a. Dry cleaners that have cleaning operations on-site and are not more than 3,000 gross square feet (not including Laundromats);
  - b. Shipping, postal, printing and business service centers that are not more than 3,000 gross square feet;
  - c. Self-service parcel delivery service; and
  - d. Other service uses determined by the Director to be oriented towards, and clearly related to, office workers in the surrounding area.
10. Up to 2,500 gross square feet.

SECTION 25: ESMC Article 15-6A (Permitted Uses in Industrial Zones) is amended to read as follows:

**ARTICLE A: PERMITTED USES IN INDUSTRIAL ZONES**

**15-6A-1: PERMITTED USES**

Table No. 1 below contains the uses permitted in the M-1 and M-2 zones, including uses permitted by right, accessory uses, uses subject to an administrative use permit and uses subject to a conditional use permit

**Table No. 1 – permitted uses in industrial zones**

Uses	Zones	
	M-1	M-2
* * *		
<b>Group care and hospitality uses</b>		
Daycare centers	P	CUP
Dog daycare (indoor)	P	
Dog daycare (outdoor)	CUP	CUP
Emergency shelters, per ESMC Section <del>15-6A-11</del> <b>15-6B-7</b>	P	
Hotels and motels	CUP	CUP
Low-Barrier Navigation Centers, pursuant to ESMC 15-37A	P	
* * *		

SECTION 26: ESMC Article 15-7C (Mixed-Use Overlay (MU-O) Zone) is amended as follows:

**ARTICLE C:  
MIXED-USE OVERLAY (MU-O) ZONE**

SECTION:

15-7C-1: Purpose

15-7C-2: Development Standards

15-7C-3: ~~Landscaping~~ Landscaping

15-7C-4: ~~Off Street Parking And Loading Spaces~~

15-7C-5: Signs

15-7C-6: Vehicular Access

15-7C-7: Affordable Housing Developments

**15-7C-1: PURPOSE:**

The purpose of this zone is to provide consistency with and implement policies related to those locations which are designated Mixed-Use Overlay on the General Plan land use map and in the General Plan text. This overlay permits multiple dwelling units at high densities in combination with permitted commercial uses to facilitate meeting the City's Regional Housing Needs Assessment (RHNA) allocation and Housing Element goals.

**15-7C-2: DEVELOPMENT STANDARDS:**

A. General Provisions:

1. As provided by chapter 2 of this title.
2. New dwelling units must be internally integrated and connected.
3. An addition to, or extension of, a dwelling unit, except a garage, must share a common wall and be internally integrated and connected to the existing dwelling unit.

B. Lot Area: A minimum of 7,000 square feet.

C. Height:

1. The height of all buildings or structures with a pitched roof shall not exceed 58 feet and four stories. Buildings or structures with a flat roof must not exceed 52 feet and four stories.
2. A maximum grade differential of six feet is permitted on sloping lots. The vertical height which exceeds the maximum grade differential limit is included in measuring the maximum building height. On sloped lots, a segmented grade plane may be applied to different portions of a building.
3. See section 15-2-3 of this title for exceptions to building height.

D. Setbacks:

1. Front Yard: Structures must maintain a minimum setback of 15 feet with the exception of structures fronting Franklin Avenue, where no setback is required. Entry gates for vehicular access must maintain a minimum setback of 20 feet.

- a. Porches, verandas, courtyards, raised decks, or pergolas may encroach into the front-yard setback a maximum of six feet.
2. Side yard facing a side street: ~~Ten~~Structures must maintain a minimum setback of 10 percent of the width of the lot, but shall never be less than three feet and need not be more than five feet, except if parking garages or covered parking spaces face a street, then the setback shall be 20 feet.
3. Side yard facing an adjacent lot: ~~Ten~~Structures must maintain a minimum setback of 10 percent of the width of the lot on each side of the lot, but shall never be less than three feet and need not be more than five feet. Detached accessory structures, located in the rear one-third of the lot, are allowed zero setback on one interior side lot line.
4. Side yard, reversed corner: Reversed corner lots shall have the following side yard with a triangular area described as follows: one angle shall be formed by the rear and street side property lines, and the sides of this angle shall be 15 feet in length, measured along the rear and street side property lines. The third side of this triangle shall be a straight line connecting the two other lines at their endpoints. This triangular side yard setback area shall be in addition to the other side yard setback requirements described in subsections D2 and D3 of this section.
5. Rear Yard: ~~A~~Primary structures must maintain a minimum setback of 10 feet.
6. Rear Yard: Detached accessory structures are allowed zero setback on the rear property line ~~and on one interior lot side line in the rear one-third of the lot,~~  
except as provided in subsection H2 below.

E. Lot Width: A minimum of 50 feet.

F. Unit size:

1. The minimum unit size per dwelling unit shall be 250 square feet.
2. The average unit size for all dwelling units shall be at least 600 square feet.

G. Density: ~~The maximum permitted density shall be 75 dwelling units per acre.~~

1. Residential. The maximum permitted residential density shall be 75 dwelling units per acre.
2. Nonresidential. The maximum permitted commercial floor area ratio (FAR) shall be the FAR of the underlying zone.

H. Placement Of Buildings And Structures:

1. A minimum distance of three feet must be maintained between buildings.
2. A detached accessory structure in the rear one-third of the lot may be located on the rear and one interior side lot line, unless one of the following conditions exists:
  - a. Where the lot rears upon an alley and the vehicular entrance to the detached accessory structure is from the alley, such detached accessory structure shall be set back a distance measured from the opposite side of the alley that will provide a turning radius as follows:

- (1) 90 degrees - 25 feet
  - (2) 75 degrees - 21 feet
  - (3) 60 degrees - 18 feet
  - (4) 45 degrees - 18 feet
- b. On the rear third of a reversed corner lot, a detached accessory structure may be built to the interior lot side line, but no building shall be erected closer than five feet to the property line of any abutting lot to the rear. However, if an alley intervenes and the vehicular entrance to the detached accessory building is directly from the street side, a detached accessory building may be built to the rear lot line.
  - c. Notwithstanding the above, a detached accessory dwelling unit must be set back at least four feet from interior side and rear property lines.
- I. Lot Coverage: All buildings, including detached accessory buildings, may cover 100 percent of the lot area, except for any required setback and/or open space areas.
  - J. Common Recreation Facility Requirements: A minimum of 50 square feet of common recreational facility space is required per unit for buildings with 21 or more units.
  - K. Building Frontage: ~~No plane of a building wall facing a building along a street-facing~~ property line shall exceed 140 feet in width.
    - 1. Developments that include more than one building shall maintain a minimum 25 feet open-to-the-sky separation to allow for landscape, courtyards, and passageways.
  - L. Massing Modulation: ~~The top story of all new developments~~For new developments, the top story's gross floor area must be a maximum 70 percent of the ~~largest floor area of largest story in the building.~~
    - 1. Notwithstanding the above, if more than ~~ten~~10 percent of the total number of dwelling units in a building are three or more-bedroom units, the top story's gross floor area must be a maximum of 90 percent of the ~~largest floor area~~story of the building.
  - M. Building Wall Modulation: No plane of a building wall facing a property line shall exceed 36 feet in height or length without at least a two-foot offset for a minimum length of six feet in the wall plane. When expanding or adding onto the height or length of an existing building wall, only the expansion or addition shall not exceed 36 feet without wall modulation. Below is an example of wall modulation for walls up to 43 feet:

Total Wall Length Or Height	Maximum Length Of Unbroken Wall Plane	Minimum Length Of 2 Foot Offset
36 feet	36 feet	0 feet
37 feet	36 feet	1 foot
38 feet	36 feet	2 feet
39 feet	36 feet	3 feet
40 feet	36 feet	4 feet
41 feet	36 feet	5 feet
42 feet	36 feet	6 feet

1. Buildings are exempt from the above wall modulation standard if at least one of the following components are integrated into the building design:
    - a. Windows that are recessed or projected at least three inches from the wall plane.
    - b. Three feet of landscaped building setback on street-facing sides in addition to the existing setback standards.
    - c. Two or more materials on street-facing facades.
- N. Balconies: External Balconies facing an abutting R-1 zoned neighborhoodsproperty are prohibited.
- O. Condominium Conversions: Condominiums and stock cooperatives converted from multiple-family dwellings shall meet all the requirements for condominiums in effect at the time they were originally constructed. If there were no condominium standards in effect at the time of construction, the conversion shall comply with the condominium standards of ordinance 898, adopted January 20, 1976.
- P. Detached Accessory Buildings:
1. Unless permitted as an accessory dwelling unit pursuant to article 15-4E of this title, detached accessory buildings shall not contain a kitchen or kitchen facilities, a bathtub or shower and shall not be used for sleeping purposes. ~~Each multi-family lot is permitted no more than two detached accessory dwelling units.~~
  2. Detached accessory buildings, except detached accessory dwelling units, shall not be rented or used as a separate dwelling unit or as an “R” occupancy, as defined by the California Building Code, except that they may contain a sink and a toilet.
  3. Prior to issuance of a building permit for a detached accessory structure, except a detached accessory dwelling unit, the Director shall require the recording of a covenant to run with the land, which states that the accessory structure shall not be used in violation of this subsection.

Q. Parking:

1. Residential. A minimum of one parking space per bedroom is required. No more than two parking spaces are required per unit.
2. Nonresidential. See Section [15-15-6](#) for number of required commercial parking spaces.
3. Tandem and mechanical parking shall be permitted for two or more-bedroom units.
4. Notwithstanding the standards in this section, see ~~Section [15-5-5](#) for additional parking area design standards.~~ Chapter 15 of this title for additional off-street parking and loading standards.

**15-7C-3: LANDSCAPING:**

- A. Except where not allowed per the placement of existing utilities, one deciduous or evergreen on-site tree must be provided per 25 feet of street-facing frontage length along the front-yard, rear-yard, and street-facing side-yard setbacks.
  1. Trees must be planted within a maximum of ten feet of the property line.
- B. Those setback areas fronting upon a public street must incorporate a minimum of 50 percent softscape and a maximum of 50 percent hardscape in the landscape, except for those portions devoted to vehicular parking. In addition, those portions of the property which abut a different zoning classification must be landscaped with trees and shrubs to provide an effective buffer from adjoining property.
- C. The setback areas may contain artificial turf or synthetic grass in the side and rear yards only, provided that it: 1) is not harmful to the environment (such as containing lead based or other hazardous materials); 2) includes a pervious surface to address percolation, drainage, runoff, and stormwater detention requirements; and 3) is incorporated into a comprehensive landscaping design and site plan.
- D. Drought-tolerant plants must be utilized in the landscape.

**15-7C-4: OFF STREET PARKING AND LOADING SPACES:**

~~Off-street parking shall be provided as required by [Chapter 15](#) of this title.~~

**15-7C-54: SIGNS:**

Signs in the Mixed-Use Overlay Zone shall comply with the requirements of [chapter 18](#) of this title.

**15-7C-65: VEHICULAR ACCESS:**

Where a Mixed-Used Overlay lot abuts an alley, vehicular access to the lot must be from the alley. Curb cuts and driveways must be installed in conformance with section 15-15-5 of this title.

**15-7C-76: AFFORDABLE HOUSING DEVELOPMENTS:**

Mixed-use developments in which at least 20 percent of residential units are affordable to lower-income households shall be considered a by-right use as defined in Government Code Section 65583.2.

SECTION 27: ESMC Article 15-7C (Housing Overlay (H-O) Zone) is amended as follows:

**ARTICLE D:  
HOUSING OVERLAY (H-O) ZONE**

SECTION:

- 15-7D-1: Purpose
- 15-7D-2: Development Standards
- 15-7D-3: LandscapeLandscaping
- ~~15-7D-4: Off Street Parking And Loading Spaces~~
- 15-7D-54: Signs
- 15-7D-65: Vehicular Access
- 15-7D-76: Affordable Housing Developments

**15-7D-1: PURPOSE:**

The purpose of this zone is to provide consistency with and implement policies related to those locations which are designated Housing Overlay on the General Plan land use map and in the General Plan text. This overlay permits multiple dwelling units at high densities to facilitate meeting the City’s Regional Housing Needs Assessment (RHNA) allocation and Housing Element goals. (Ord. 1657, 5-7-2024)

**15-7D-2: DEVELOPMENT STANDARDS:**

The following development standards apply to the Housing Overlay parcels ~~located in these four neighborhoods.~~

- A. General Provisions:
  - 1. As provided by chapter 2 of this title.
  - 2. New dwelling units must be internally integrated and connected.
  - 3. An addition to, or extension of, a dwelling unit, except a garage, must share a common wall and be internally integrated and connected to the existing dwelling unit.
- B. Lot Area: A minimum of 7,000 square feet.
- C. Height:
  - 1. ~~The height of all buildings~~Buildings or structures with a pitched roof ~~shall~~must not exceed 47 feet and three stories. Buildings or structures with a flat roof must not exceed 41 feet and three stories.

2. A maximum grade differential of six feet is permitted on sloping lots. The vertical height which exceeds the maximum grade differential limit is included in measuring the maximum building height. On sloped lots, a segmented grade plane may be applied to different portions of a building.

3. See section [15-2-3](#) of this title for exceptions to building height.

D. Setbacks:

1. Front Yard: Structures must maintain a minimum setback of 15 feet ~~with the exception of, except for~~ structures fronting Franklin Avenue, where no setback is required. Entry gates for vehicular access must maintain a minimum setback of 20 feet.

a. Porches, verandas, courtyards, raised decks, or pergolas may encroach into the front-yard setback a maximum of six feet.

2. Side yard facing a side street: Structures must maintain a minimum setback of Ten~~Ten~~ percent of the width of the lot, but shall never be less than three feet and need not be more than five feet, except if parking garages or covered parking spaces face a street, then the minimum setback shall be 20 feet.

3. Side yard facing an adjacent lot: Structures must maintain a minimum setback of Ten~~Ten~~ percent of the width of the lot on each side of the lot, but shall never be less than three feet and need not be more than five feet. Detached accessory structures, located in the rear one-third of the lot, are allowed zero setback on one interior side lot line.

4. Side yard, reversed corner: Reversed corner lots shall have the following side yard with a triangular area described as follows: one angle shall be formed by the rear and street side property lines, and the sides of this angle shall be 15 feet in length, measured along the rear and street side property lines. The third side of this triangle shall be a straight line connecting the two other lines at their endpoints. This triangular side yard setback area shall be in addition to the other side yard setback requirements described in subsections D2 and D3 of this section.

5. Rear Yard: ~~A minimum of~~ Primary structures must maintain a minimum setback of 10 feet.

6. Rear Yard: Detached accessory structures are allowed zero setback on the rear property line ~~and on one interior lot side line in the rear one-third of the lot.~~ , except as provided in subsection H2 below.

E. Lot Width: A minimum of 50 feet.

F. Unit size:

1. The minimum unit size per dwelling unit shall be 250 gross square feet.

2. The average unit size for all dwelling units shall be at least 600 gross square feet.

G. Density: The maximum permitted density shall be 65 dwelling units per acre.

H. Placement Of Buildings And Structures:

1. A minimum distance of three feet must be maintained between buildings.

2. A detached accessory structure in the rear one-third of the lot may be located on the rear and one interior side lot line, unless one of the following conditions exists:

a. Where the lot rears upon an alley and the vehicular entrance to the detached accessory structure is from the alley, such detached accessory structure shall be set back a distance measured from the opposite side of the alley that will provide a turning radius as follows:

- (1) 90 degrees - 25 feet
- (2) 75 degrees - 21 feet
- (3) 60 degrees - 18 feet
- (4) 45 degrees - 18 feet

b. On the rear third of a reversed corner lot, a detached accessory structure may be built to the interior lot side line, but no building shall be erected closer than five feet to the property line of any abutting lot to the rear. However, if an alley intervenes and the vehicular entrance to the detached accessory building is directly from the street side, a detached accessory building may be built to the rear lot line.

c. Notwithstanding the above, a detached accessory dwelling unit must be set back at least four feet from interior side and rear property lines.

I. Lot Coverage: All buildings, including detached accessory buildings, may cover 100 percent of the lot area, except for any required setback and/or open space areas.

J. Common Recreation Facility Requirements: A minimum of 50 square feet of common recreational facility space is required per unit for buildings with 21 or more units.

K. Building Frontage: ~~No plane of a building wall facing a~~ building along a street-facing property line shall exceed 140 feet in width.

1. Developments that include more than one building shall maintain a minimum 25 feet open-to-the-sky separation to allow for landscape, courtyards, and passageways.

L. Massing Modulation: ~~The top story of all new developments~~ For new developments, the top story's gross floor area must be a maximum 70 percent of the largest floor area of largest story in the building.

1. Notwithstanding the above, if more than ~~ten~~ 10 percent of the total number of dwelling units in a building are three or more-bedroom units, the top story's gross floor area must be a maximum of 90 percent of the largest floor area ~~story~~ of the building.

M. Building Wall Modulation: No plane of a building wall facing a property line shall exceed 36 feet in height or length without at least a two-foot offset for a minimum length of six feet in the wall plane. When expanding or adding onto the height or length of an existing building wall, only the expansion or addition shall not exceed 36 feet without wall modulation. Below is an example of wall modulation for walls up to 43 feet:

Total Wall Length Or Height	Maximum Length Of Unbroken Wall Plane	Minimum Length Of 2 Foot Offset
36 feet	36 feet	0 feet
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38 feet	36 feet	2 feet
39 feet	36 feet	3 feet
40 feet	36 feet	4 feet
41 feet	36 feet	5 feet
42 feet	36 feet	6 feet

1. Buildings are exempt from the above wall modulation standard if at least one of the following components are integrated into the building design:
  - a. Windows that are recessed or projected at least three inches from the wall plane.
  - b. Three feet of landscaped building setback on street-facing sides in addition to the existing setback standards.
  - c. Two or more materials on street-facing facades.

N. Balconies: External Balconies facing an abutting R-1 zoned neighborhoods property are prohibited.

O. Condominium Conversions: Condominiums and stock cooperatives converted from multiple-family dwellings shall meet all the requirements for condominiums in effect at the time they were originally constructed. If there were no condominium standards in effect at the time of construction, the conversion shall comply with the condominium standards of ordinance 898, adopted January 20, 1976.

- P. Detached Accessory Buildings:
1. Unless permitted as an accessory dwelling unit pursuant to article 15-4E of this title, detached accessory buildings shall not contain a kitchen or kitchen facilities, a bathtub or shower and shall not be used for sleeping purposes. ~~Each multi-family lot is permitted no more than two detached accessory dwelling units.~~
  2. Detached accessory buildings, except detached accessory dwelling units, shall not be rented or used as a separate dwelling unit or as an “R” occupancy, as defined by the California Building Code, except that they may contain a sink and a toilet.
  3. Prior to issuance of a building permit for a detached accessory structure, except a detached accessory dwelling unit, the Director shall require the recording of a covenant to run with the land, which states that the accessory structure shall not be used in violation of this subsection.

- Q. Parking:
1. A minimum of one parking space per bedroom is required. No more than two parking spaces are required per unit.
  2. Standard residential parking dimensions in the Housing Overlay shall be ~~8.5' W X 18'~~ 8.5 feet by 18 feet.

3. Tandem and mechanical parking shall be permitted for two or more-bedroom units.

4. Notwithstanding the standards in this section, see ~~Section 15-5-5~~ for additional parking area design standards. Chapter 15 of this title for additional off-street parking and loading standards.

### **15-7D-3: LANDSCAPING:**

A. Except where not allowed per the placement of existing utilities, one deciduous or evergreen on-site tree must be provided per 25 feet of street-facing frontage length along the front-yard, rear-yard, and street-facing side-yard setbacks.

1. Trees must be planted within a maximum of ~~ten~~10 feet of the property line.

B. Those setback areas fronting upon a public street must incorporate a minimum of 50 percent softscape and a maximum of 50 percent hardscape in the landscape, except for those portions devoted to vehicular parking. In addition, those portions of the property which abut a different zoning classification must be landscaped with trees and shrubs to provide an effective buffer from adjoining property.

C. The setback areas may contain artificial turf or synthetic grass in the side and rear yards only, provided that it: 1) is not harmful to the environment (such as containing lead based or other hazardous materials); 2) includes a pervious surface to address percolation, drainage, runoff, and stormwater detention requirements; and 3) is incorporated into a comprehensive landscaping design and site plan.

D. Drought-tolerant plants must be utilized in the landscape. (Ord. 1657, 5-7-2024)

### **~~15-7D-4: OFF STREET PARKING AND LOADING SPACES:~~**

~~Off-street parking shall be provided as required by Chapter 15 of this title. (Ord. 1657, 5-7-2024)~~

### **15-7D-54: SIGNS:**

Signs in the Housing Overlay Zone shall comply with the requirements of chapter 18 of this title. (Ord. 1657, 5-7-2024)

### **15-7D-65: VEHICULAR ACCESS:**

Where a Housing Overlay lot abuts an alley, vehicular access to the lot must be from the alley. Curb cuts and driveways must be installed in conformance with section 15-15-5 of this title. (Ord. 1657, 5-7-2024)

### **15-7D-76: AFFORDABLE HOUSING DEVELOPMENTS:**

Housing developments in which at least 20 percent of residential units are affordable to lower-income households shall be considered a by-right use as defined in Government Code Section 65583.2.

SECTION 28: ESMC Subsection 15-15-3(G) (General Provisions: Expansion or Remodeling of Building, or Change in Use) is amended as follows:

G. Expansion Or Remodeling Of Building, Or Change In Use:

1. Expansion Of Building Or Use, Generally: Upon change or expansion of a building, or outdoor use area resulting in additional floor area devoted to a use, additional outdoor use area, or an increase in the number of dwelling units on a lot, additional parking and loading spaces must be provided only for the additional floor area, outdoor use area, or residential units without diminishing the existing parking, unless such parking exceeds the requirements of this chapter.
2. Addition Of Floor Area To A Dwelling Unit: Notwithstanding any other provision of this chapter, the cumulative addition of ~~one thousand (1,000)~~ square feet of gross floor area to a residential unit upon the effective date hereof must comply with the minimum parking requirements for residential units as established in this chapter.
3. Change Of Use, Generally: When the use of a building changes to another use that is required to have the same number of parking spaces, no additional parking spaces are required for the new use, regardless of the number of spaces provided by the previous use, if the previous use was legally established and the number of spaces has not decreased. When a change in use requires more off street parking than the previous use, additional parking spaces must be provided equal in number to the difference between the total number of spaces required by the new use and the number of spaces required for the immediately previous use. When a change in use requires less off street parking than the previous use, no additional parking spaces are required.

SECTION 29: ESMC Subsection 15-15-5(D) (Parking Space Location) is amended as follows:

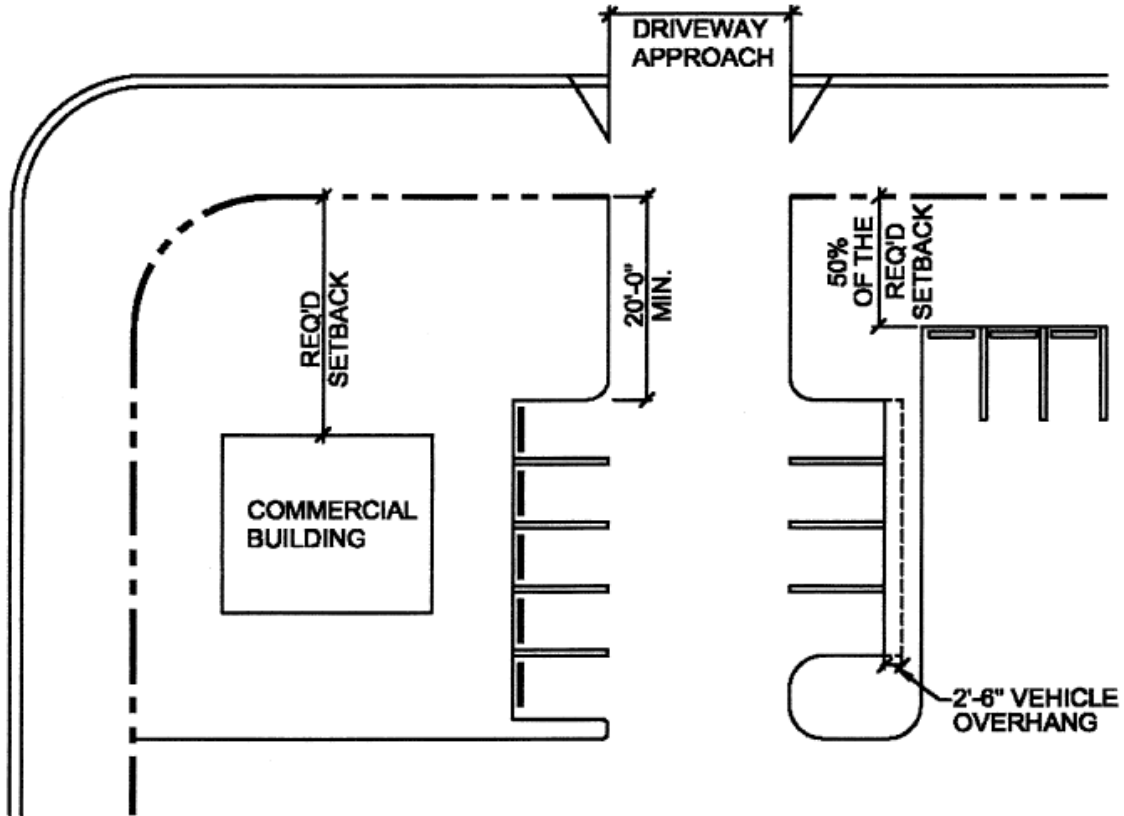
D. Parking Space Location:

1. Residential:
  - a. Required parking spaces, excepting guest spaces, must be located within a garage or carport as required in Subsection S of this Section.
  - b. No required guest parking space may be located, in whole or in part, in a required front yard or front two-thirds of a required side yard.
2. Nonresidential and Mixed-Use:
  - a. Parking spaces may encroach into a required street-facing setback up to a maximum of 50 percent of the required setback area, provided a minimum landscaped setback of five feet is maintained. Parking spaces may encroach into a required interior side and rear setback up to the interior side or rear property line, provided that the interior side and rear property line does not abut a public or private street.
  - b. Parking spaces that back up directly into a driveway entrance must maintain a minimum landscaped setback of 20 feet from any street facing property line.
  - c. Where vehicular access is provided by an alley, parking may intrude into the required rear yard; provided, however, the amount of setback intruded upon must

be replaced by increasing the other required yards on site by an equivalent amount.

FIGURE 2 - PARKING SPACE LOCATION

FIGURE 2 - PARKING SPACE LOCATION



SECTION 30: ESMC Subsection 15-15-5(H) (Parking Space Dimensions) is amended as follows:

H. Parking Space Dimensions:

1. Minimum Interior Dimensions:

Space Type	Minimum Width	Minimum Length
Commercial <u>and Mixed Use</u> standard	8.5 feet	18 feet
Residential standard	9 feet	20 feet
Residential - narrow lots <sup>1</sup>	8.5 feet	20 feet
Vehicle lift	8.5 feet	18 feet
Compact	8.5 feet	15 feet
Parallel	8.5 feet	24 feet
Accessible	See note 2	See note 2
Motorcycle	5 feet	9 feet
Bicycle <sup>3</sup>	2 feet	5 feet

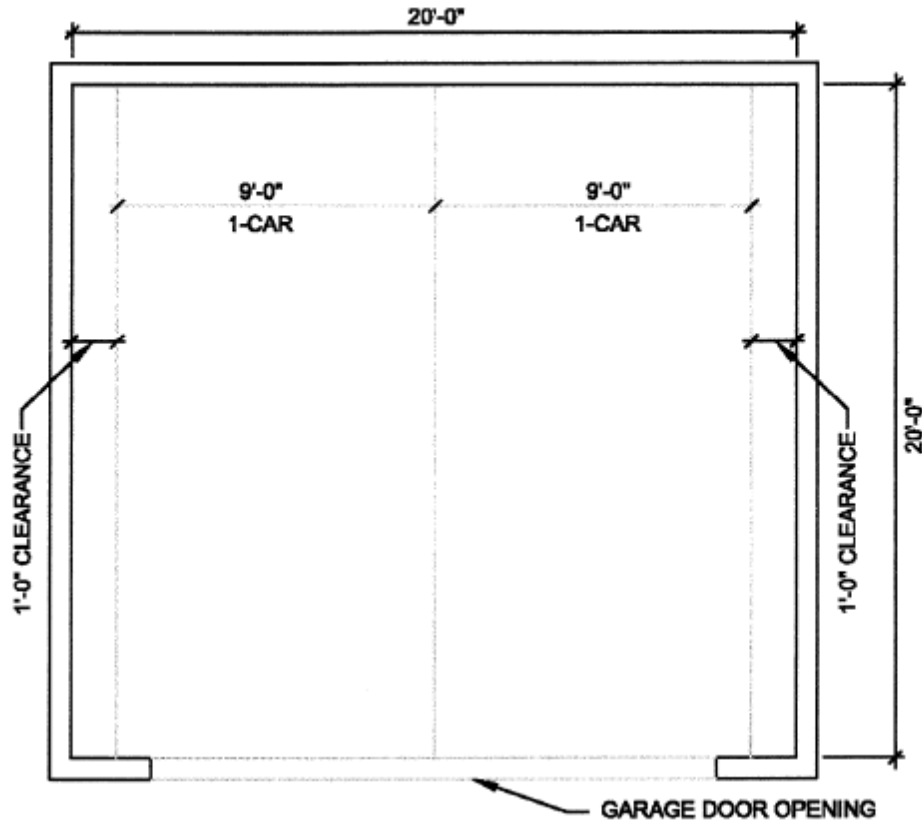
Notes:

1. Lots under 40 feet in width.
2. The dimensions of accessible parking spaces must comply with the Americans With Disabilities Act (ADA), title III and California Code of Regulations (CCR), California Access Code, title 24.
3. Each bicycle space must accommodate one 2-bicycle capacity rack.

2. Single-Family Dwellings:

- a. Two-car garages must have minimum interior dimensions of 20 feet by 20 feet, except for narrow lots as indicated below.

FIGURE 4 - SINGLE-FAMILY DWELLING GARAGE



- b. Individual garages must not exceed 900 square feet in size or a four car capacity, whichever is less. Subterranean garages and semi-subterranean garages that meet the definition of a basement are exempt from this requirement.

3. The Director may approve adjustments to the parking space dimensions standards as provided in Chapters 22 and 23 of this title.

**SECTION 31:** ESMC Subsection 15-15-5(l) (Compact Spaces) is amended as follows:

- I. Compact Spaces: Compact parking is allowed for office, industrial, hotel, **mixed-uses**, and recreational uses up to a maximum of 20 percent of required parking spaces. Parking provided in excess of the required number may be compact in size. Compact spaces cannot be allowed for retail uses.

**SECTION 32:** ESMC Subsection 15-15-5(J) (Tandem Spaces) is amended as follows:

J. Tandem Spaces: All tandem parking spaces, where allowed, must be clearly outlined on the surface of the parking facility.

**TANDEM SPACES PERMITTED**

<b>Use</b>	<b>Maximum Percentage of Required Spaces<sup>3</sup></b>	<b>Maximum Percentage of Required Spaces in Smoky Hollow</b>	<b>Maximum Depth</b>
Single- and two-family residential	100	n/a	2 spaces <sup>1</sup>
Multiple-family residential	Prohibited <sup>2</sup>	n/a	n/a
Retail and services	Prohibited	30	2 spaces
Industrial	20	85	2 spaces
Office	20	85	2 spaces
<b><u>Mixed-Use</u></b>	<b><u>20</u></b>	<b><u>n/a</u></b>	<b><u>2 spaces</u></b>
Restaurant	Prohibited	10	2 spaces

Notes:

1. Tandem spaces for single- and two-family dwellings must be assigned to the same unit.
2. Tandem parking is permitted for multiple-family residential developments involving density bonuses, pursuant to Government Code section 65915.
3. Parking provided in excess of the required number may be tandem in configuration.

The Director may approve adjustments to the required number and standards for tandem parking spaces as provided in Chapters 22 and 23 of this title, subject to conditions. The conditions may include recording of a covenant agreement, requiring a parking attendant, requiring valet service, and other operational conditions. The Director may also approve tandem parking in excess of the above limits for permitted temporary uses and/or special events.

**SECTION 33:** ESMC Subsection 15-15-5(N) (Driveway and Curb Cuts) is amended as follows:

N. Driveway and Curb Cuts: All curb cuts and driveways must lead directly to required parking. Curb cuts not leading to parking, must be removed whenever new buildings are constructed or additions are made to existing buildings. The location and design of all driveway entrances and exits must comply with the standards listed below. The goal of these standards is to: 1) preserve on street parking spaces, 2) improve traffic safety, and 3) improve on site vehicle circulation.

1. Driveway and Curb Cut Width:

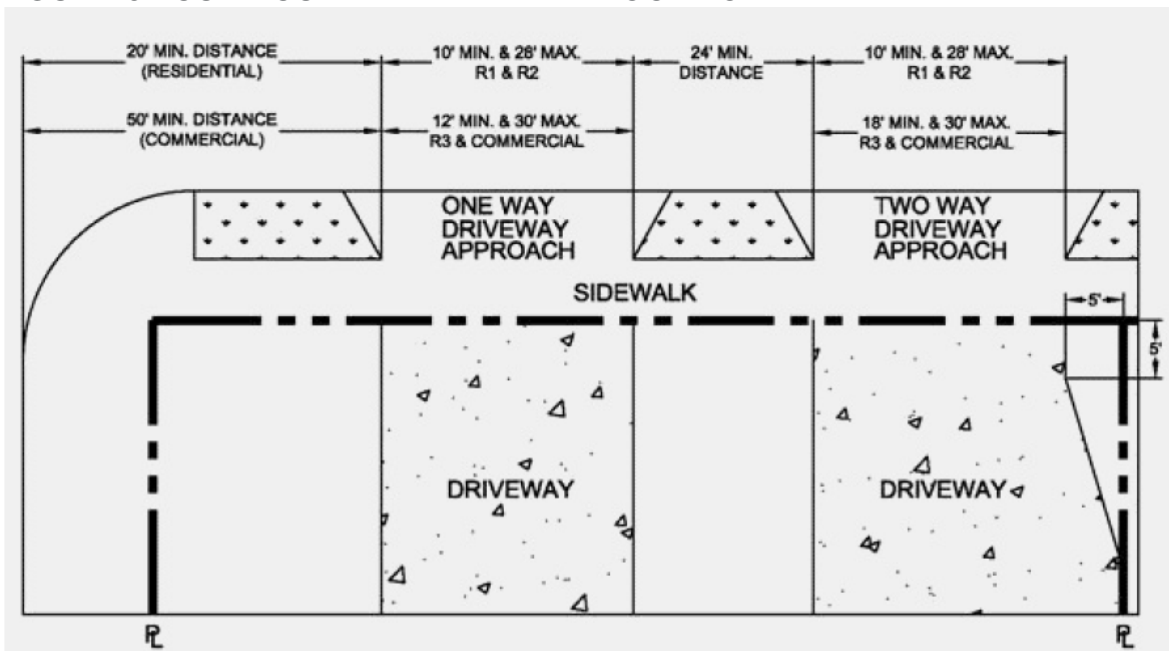
Zone	Curb Cut Width (in feet) <sup>1</sup>		Driveway Width (in feet)	
	Minimum	Maximum	Minimum	Maximum
R-1 and R-2 - lots less than 50 feet wide	10	20	10	20
R-1 and R-2 - lots at least 50 feet wide	10	25	10	28
R-3 - serving 12 or fewer parking spaces or one-way	12	30	12	30
R-3 - serving 13 or more parking spaces or two-way	18	30	18	30
Nonresidential - one-way	12	30	12	30
Nonresidential - two-way	18	30	18	30
<b>Mixed Use - one-way</b>	<b>12</b>	<b>30</b>	<b>12</b>	<b>30</b>
<b>Mixed Use - two-way</b>	<b>18</b>	<b>30</b>	<b>18</b>	<b>30</b>

Note:

1. Curb cut width excludes the width of aprons.
2. Curb Cut Locations:

Zone	Minimum Distance Between Curb Cuts On The Same Property	Minimum Distance From Curb Cuts To Street Corners	Minimum Distance From Curb Cuts To Property Lines
Residential	24 feet	20 feet	5 feet
Nonresidential	24 feet	50 feet	5 feet

FIGURE 8 - CURB CUT AND DRIVEWAY LOCATIONS



3. The Director may approve adjustments to the driveway and curb cut standards as provided in Chapters 22 and 23 of this title.

**SECTION 34:** ESMC Subsection 15-15-5(Q) (Parking Structure Standards) is amended as follows:

**Q. Parking Structure Standards:**

1. The following setback requirements apply to all subterranean parking facilities:

<b>Zone</b>	<b>Projection Above Grade</b>	<b>Setback</b>
Residential	Completely subsurface	Must meet required front setback
		No rear or side setback required
	No more than 3 feet above grade	Must meet required setbacks
	More than 3 feet above grade	Must meet required setbacks and must be screened from public view
<b>Nonresidential and Mixed Use</b>	Completely subsurface	No setbacks required <sup>1</sup>
	Above grade	Must meet required setbacks

Note:

1. The parking structure must be designed in such a manner as to maintain sufficient soil above for landscaping (ground cover, shrubs and trees) to grow above grade.
2. The Director may approve adjustments to the parking structure standards as provided in Chapters 22 and 23 of this title.

**SECTION 35:** ESMC Subsection 15-15-5(R) (Special Residential Parking Provisions) is amended as follows:

**R. Special Residential Parking Provisions:**

1. Covered parking: All required parking spaces must be covered and enclosed in the following manner:

<b>Use</b>	<b>Minimum Parking Enclosure</b>
Single- and two-family dwellings	Fully enclosed garage
Multiple-family dwellings*	Covered structure enclosed on 3 sides
Guest parking spaces	May be uncovered and unenclosed

\*Not applicable to mixed-use developments

2. Residential Garage Openings: All garages must meet the minimum and maximum widths listed below:

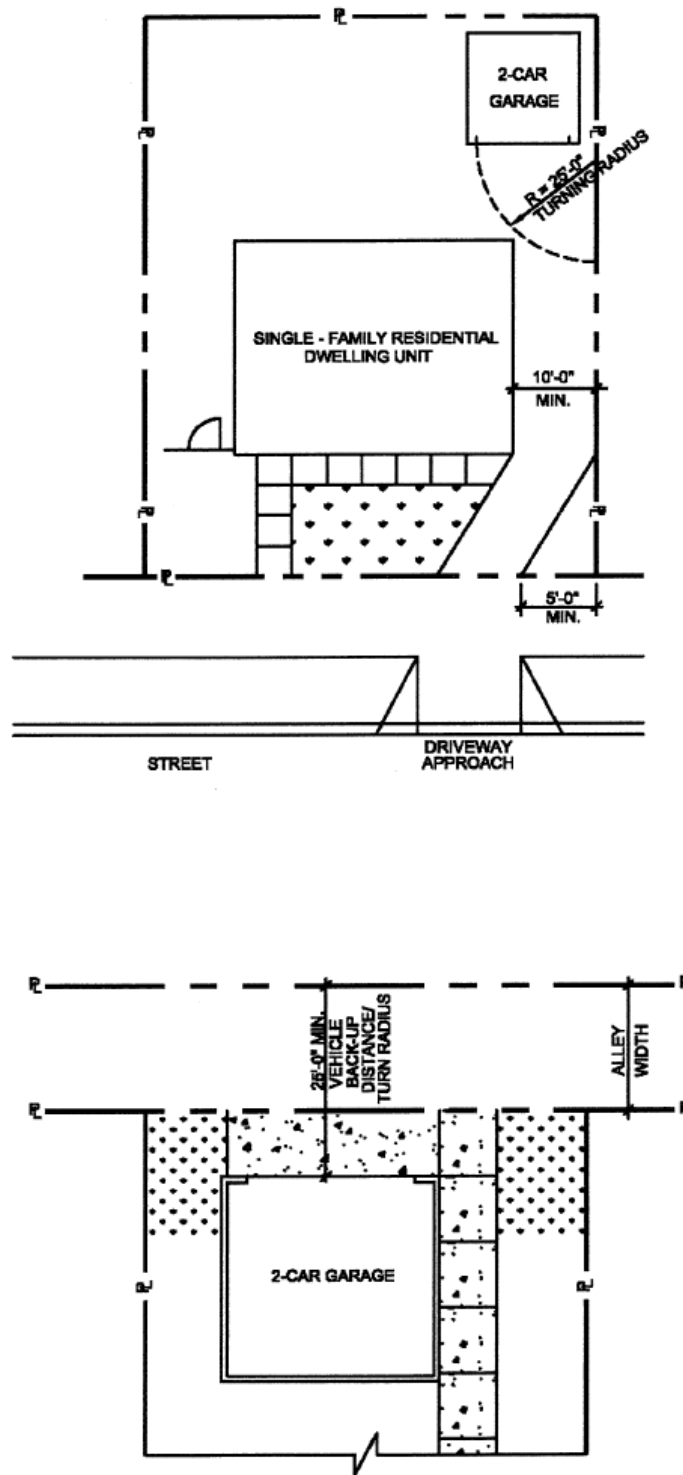
<b>Type Of Garage</b>	<b>Minimum Opening Width</b>	<b>Maximum Opening Width</b>
Single car	8 feet	14 feet
Two car	16 feet	20 feet
Multiple-family residential*	16 feet	Equal to the drive aisle width it serves

\*Not applicable to mixed-use developments

3. Residential Turn Radius Requirements:
- a. One or two car garages located behind a residence must provide a minimum turning radius of 25 feet.
  - b. Residential garages that take access directly from an alley may measure the required turn radius to the opposite side of the alley.

FIGURE 10 - RESIDENTIAL TURN RADIUS AND ALLEY ACCESS

FIGURE 10 - RESIDENTIAL TURN RADIUS AND ALLEY ACCESS



4. The Director may approve adjustments to the special residential parking provisions standards as provided in Chapters 22 and 23 of this title.

S. Vehicle Lifts: Vehicle lifts may be used by right to provide off street parking spaces on lots in the single-family residential (R-1) zone and the two-family residential (R-2) zone where the vehicle lifts provide parking in excess of the minimum number of required parking spaces subject to the standards in this section and in this chapter.

1. An administrative use permit is required for vehicle lifts providing required off street parking spaces on lots in the R-1 and R-2 zones subject to the following:
  - a. The vehicle lift must be located only within a fully enclosed garage.
  - b. A vehicle lift may only be used to store two vehicles vertically where a minimum vertical height clearance from the floor to the ceiling plate of the garage is a minimum of 14 feet clear of obstructions.
  - c. A vehicle lift must be designed and used as a designated parking space for use only by occupants in the same dwelling unit as the parking space located directly below the vehicle lift.
  - d. A vehicle lift must be permitted only if it is operated with an automatic shutoff safety device, is installed according to manufacturer specifications, and is operable at all times.
2. In nonresidential and mixed-use zones, vehicle lifts are permitted as tandem spaces, subject to the limitations in ESMC § 15-15-5(K), and may store up to two vehicles vertically.

**SECTION 36:** Subsection (A) of § 15-15-6 (Automobile spaces required) is amended as follows:

A. Automobile Spaces Required

Use	Number Of Parking Spaces Required
	* * *
Commercial:	
Animal care:	
Animal boarding, kennels	1 space for each 300 square feet of office/retail area, plus 1 space per 1,000 square feet of storage and animal area including outdoor play area
Animal daycare and training (no overnight stay)	1 space for each 300 square feet of office/retail area, plus 1 space per 1,000 square feet of storage and animal area, including outdoor area
Veterinary hospital	1 space for each 300 square feet
Fitness centers, gyms, health clubs	1 space for each 150 square feet
Hotels, motels, auto courts, bed and breakfast inns, motor lodges, and tourist courts	1 space for each of the first 100 rooms, or sleeping units; $\frac{3}{4}$ space for each of the next 100 rooms, or sleeping units; and $\frac{1}{2}$ space for each room above 200 rooms, or sleeping units

Landscape nurseries	1 space for each 300 square feet of interior floor area, plus 1 space for each 1,000 square feet of exterior storage and display area
Medical/dental offices and clinics	1 space for each 200 square feet
Motion picture/television studio/sound stages (indoor)	1 space for each 500 square feet for the first 25,000 square feet 1 space for each 1,000 square feet for the area in excess of 25,000 square feet
General offices (including up to 500 square feet of accessory eating establishments)	1 space for each 300 square feet for the first 25,000 square feet 1 space for each 350 square feet for the second 25,000 square feet 1 space for each 400 square feet for the area in excess of 50,000 square feet
Retail sales	
Retail services:	
Business and consumer support services	
Financial institutions	
Personal services	
<u>Studios for art, performing art, and fitness</u>	<u>1 space for each 300 square feet</u>
* * *	

**SECTION 37: *Enforceability.*** Repeal of any provision of the ESMC does not affect any penalty, forfeiture, or liability incurred before, or preclude prosecution and imposition of penalties for any violation occurring before this Ordinance’s effective date. Any such repealed part will remain in full force and effect for sustaining action or prosecuting violations occurring before the effective date of this Ordinance.

**SECTION 38: *Validity of Previous Code Sections.*** If this entire Ordinance or its application is deemed invalid by a court of competent jurisdiction, any repeal or amendment of the ESMC or other city ordinance by this Ordinance will be rendered void and cause such previous ESMC provision or other the city ordinance to remain in full force and effect for all purposes.

**SECTION 39: *Severability.*** If any part of this Ordinance or its application is deemed invalid by a court of competent jurisdiction, the City Council intends that such invalidity will not affect the effectiveness of the remaining provisions or applications and, to this end, the provisions of this Ordinance are severable.

SECTION 40: *Recording.* The City Clerk is directed to certify the passage and adoption of this Ordinance; cause it to be entered into the City of El Segundo's book of original ordinances; make a note of the passage and adoption in the records of this meeting; and, within fifteen (15) days after the passage and adoption of this Ordinance, cause it to be published or posted in accordance with California law.

SECTION 41: *Execution.* The Mayor or presiding officer is hereby authorized to affix his signature to this Ordinance signifying its adoption by the City Council, and the City Clerk, or duly appointed deputy, is directed to attest thereto.

SECTION 42: *Electronic Signatures.* This Ordinance may be executed with electronic signatures in accordance with Government Code §16.5. Such electronic signatures will be treated in all respects as having the same effect as an original signature.

SECTION 43: Effectiveness. This Ordinance will go into effect and be in full force and effect on the thirty-first (31st) day after its passage and adoption.

PASSED AND ADOPTED this \_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Chris Pimentel, Mayor

ATTEST:

STATE OF CALIFORNIA            )  
COUNTY OF LOS ANGELES    )     SS  
CITY OF EL SEGUNDO            )

I, Susan Truax, City Clerk of the City of El Segundo, California, do hereby certify that the whole number of members of the City Council of said City is five; that the foregoing Ordinance No. \_\_\_\_ was duly introduced by said City Council at a regular meeting held on the \_\_\_\_ day of \_\_\_\_\_, 2026, and was duly passed and adopted by said City Council, approved and signed by the Mayor, and attested to by the City Clerk, all at a regular meeting of said Council held on the \_\_\_\_ day of \_\_\_\_\_, 2026, and the same was so passed and adopted by the following vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

\_\_\_\_\_  
Susan Truax, City Clerk

APPROVED AS TO FORM:  
MARK D. HENSLEY, CITY ATTORNEY

\_\_\_\_\_  
David King, Assistant City Attorney