

PROFESSIONAL BASKETBALL TEAM HQ

SITE PLAN REVIEW

11.04.2025

CONTENTS

PROJECT DESCRIPTION

- Project Summary
- Overall Site Plan
- Project Amenities & Utilities
- Parcel 2 | West Building Summary
- Building Floor Plan & Parking Calculations
- Landscape Summary
- Site Section
- Site Planting

BUILDING MATERIAL & FINISHES

- East Elevation
- South Elevation
- West Elevation
- North Elevation
- Building Signage

COLOR RENDERING

- View from Rosecrans Avenue

APPENDIX - A | Site Survey

APPENDIX - B | Site Plan Review Reference Plans

PROJECT SUMMARY

SITE INFORMATION

Building Address 2021 Rosecrans Ave: Offices
 2031 Rosecrans Ave: Parking Garage (future)
 2011 Rosecrans: West Office Building (future)
 El Segundo, CA 90245

Assessor's Parcel Number (APN) 413 - 8015 - 064
Entitlement Area 278253.45 SF / 6.39 Acres
Genera Plan Designation Urban Mixed-Use South (MU-S)

Final Environmental Impact Report (FEIR) EA-1201
 261,990 SF mixed-use commercial campus

PROJECT DESCRIPTION

The Professional Basketball Team HQ project will create a new building providing a mix of business offices, coaching offices and player development spaces dedicated to professional basketball players, such a practice court, weight room, player coach dining room and other player preparation spaces. The property is located within the urban mixed-use south (MU-S) zone on a former industrial site located on Rosecrans Boulevard. The building consists of a 2 story building with surface parking. The mix of commercial uses proposed is consistent with city's general plan and compatible with adjacent development within continental park and is intended to contribute to the completion of the Rosecrans corridor.

PARCEL 2 SUMMARY

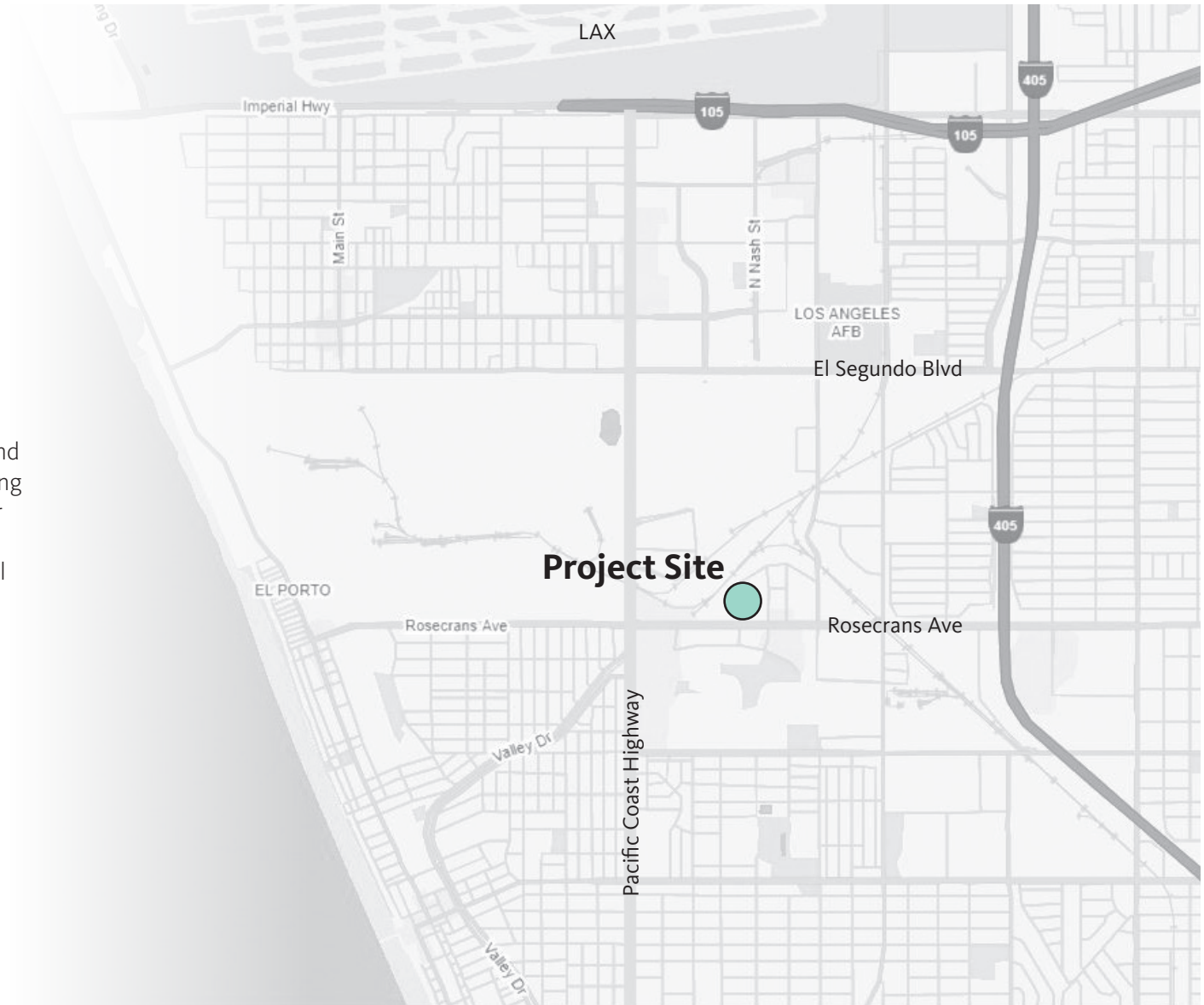
Lot Size 104,073 SF | 2.389 Acres
Open Space 61,873 SF
104,073 SF - 42,200 SF (West Bldg Footprint)
Gross Floor Area 60,159 SF
Net Floor Area 56,099 SF
Landscape Area 16,000 SF
Provided Parking 54 Spaces

PROJECT AREA SUMMARY

Zoning FAR OF 1.13 : 1
Allowable Area 104,073 SF x 1.13 = 117,602 SF
Gross Floor Area 60,159 SF
Remaining Area 57,443 SF

PROVIDED BICYCLE PARKING

Short Term 5% of provided vehicular stalls (54 x 0.05 = 2.7 bicycle stalls)
Long Term 5% of provided vehicular stalls (54 x 0.05 = 2.7 bicycle stalls)
Provided 6 short term bicycle stalls
 6 long term bicycle stalls



SITE EXISTING PHOTOS & SURROUNDING AREA



1 LOOKING NORTH EAST



2 LOOKING NORTH WEST



3 LOOKING NORTH



AERIAL

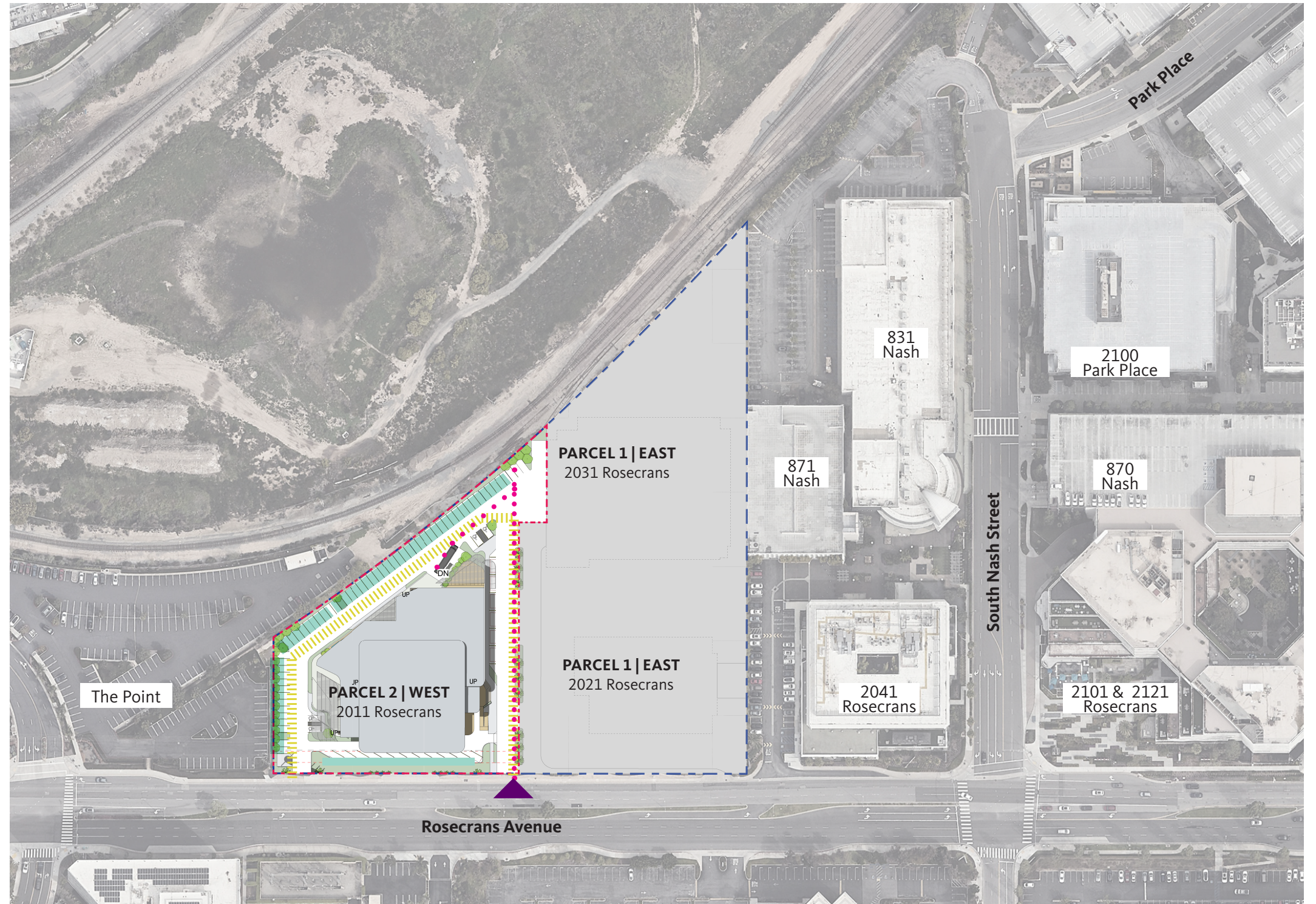


4 LOOKING NORTH

OVERALL SITE PLAN

LEGEND

- Property Line
- Previously Entitled Boundary Line
- ▲ Project Entrance
- Surface Parking
- ||||| Fire Access
- Loading/Trash Access



PROJECT AMENITIES & UTILITIES

SITE AMENITIES & UTILITIES

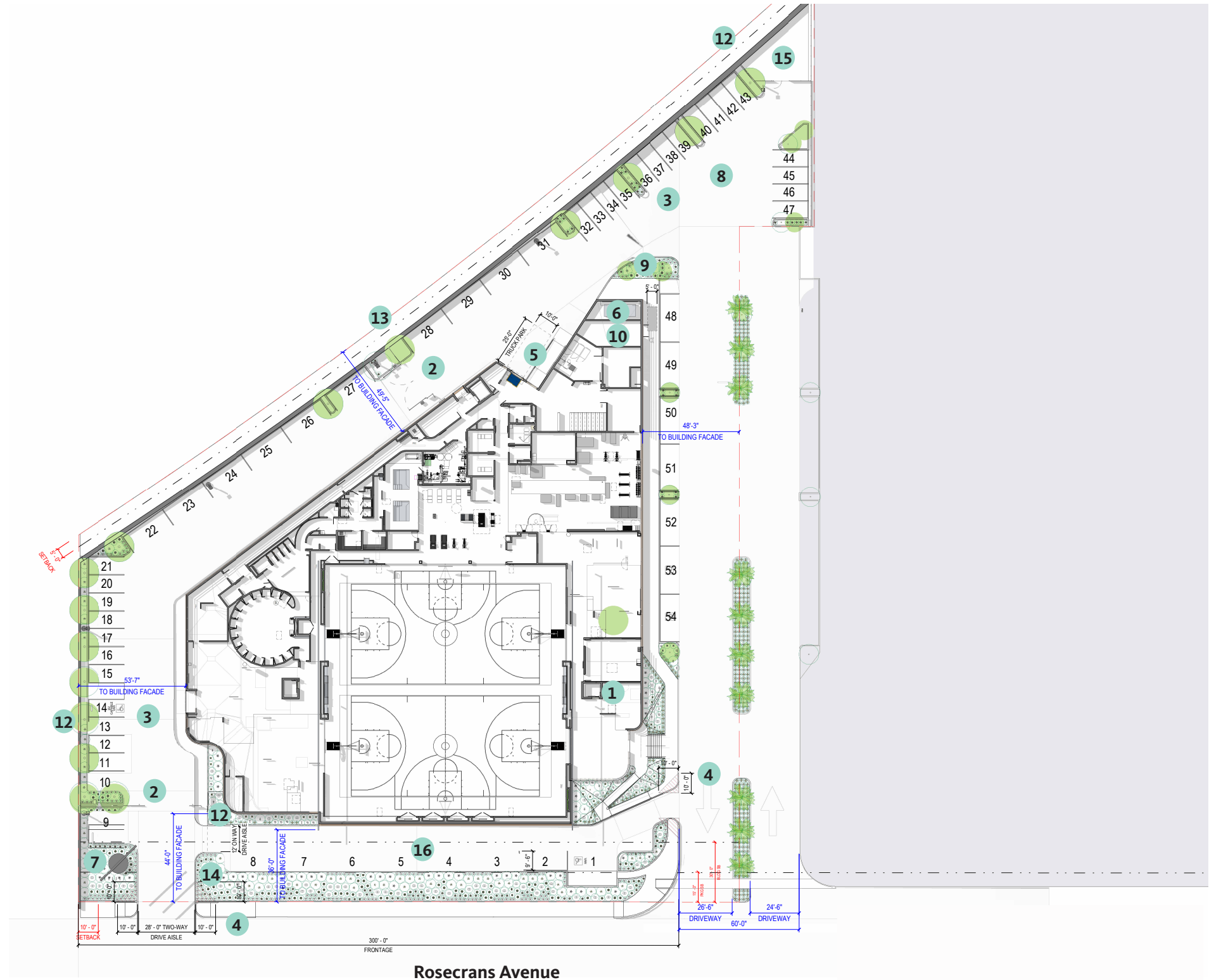
- 1 MAIN LOBBY
- 2 SECURITY VEHICLE GATE(8'-0" MAX HEIGHT)
- 3 SURFACE PARKING
- 4 DRIVEWAY TRIANGLE VISIBILITY AREA
- 5 SMALL TRUCK LOADING DOCK (10'W X 25'L)
- 6 TRASH ENCLOSURE (INTERIOR LEVEL 01)
- 7 EXISTING ELECTRICAL POST
- 8 TRUCK TURNAROUND
- 9 BICYCLE PARKING (2'-0" WIDTH X 5'-0" LENGTH)
- 10 MAIN ELECTRICAL (INTERIOR LEVEL 01)
- 11 MECHANICAL YARD
- 12 FENCE-LINE
- 13 PERMANENT SHORING WALL WITH FENCE ON TOP
- 14 SITE UTILITIES
- 15 SITE UTILITIES WITH SCREENING TO MATCH ROOF SCREEN
- 16 SURFACE PARKING - VISITORS



PROJECT AMENITIES & UTILITIES

SITE AMENITIES & UTILITIES

- 1 MAIN LOBBY
- 2 SECURITY VEHICLE GATE (8'-0" MAX HEIGHT)
- 3 SURFACE PARKING
- 4 DRIVEWAY TRIANGLE VISIBILITY AREA
- 5 SMALL TRUCK LOADING DOCK (10'W X 25'L)
- 6 TRASH ENCLOSURE (INTERIOR LEVEL 01)
- 7 EXISTING ELECTRICAL POST
- 8 TRUCK TURNAROUND
- 9 BICYCLE PARKING (2'-0" WIDTH X 5'-0" LENGTH)
- 10 MAIN ELECTRICAL (INTERIOR LEVEL 01)
- 11 MECHANICAL YARD
- 12 FENCE-LINE
- 13 PERMANENT SHORING WALL WITH FENCE ON TOP
- 14 SITE UTILITIES
- 15 SITE UTILITIES WITH SCREENING TO MATCH ROOF SCREEN
- 16 SURFACE PARKING - VISITORS



PARCEL 2 | BUILDING SUMMARY

BUILDING INFORMATION

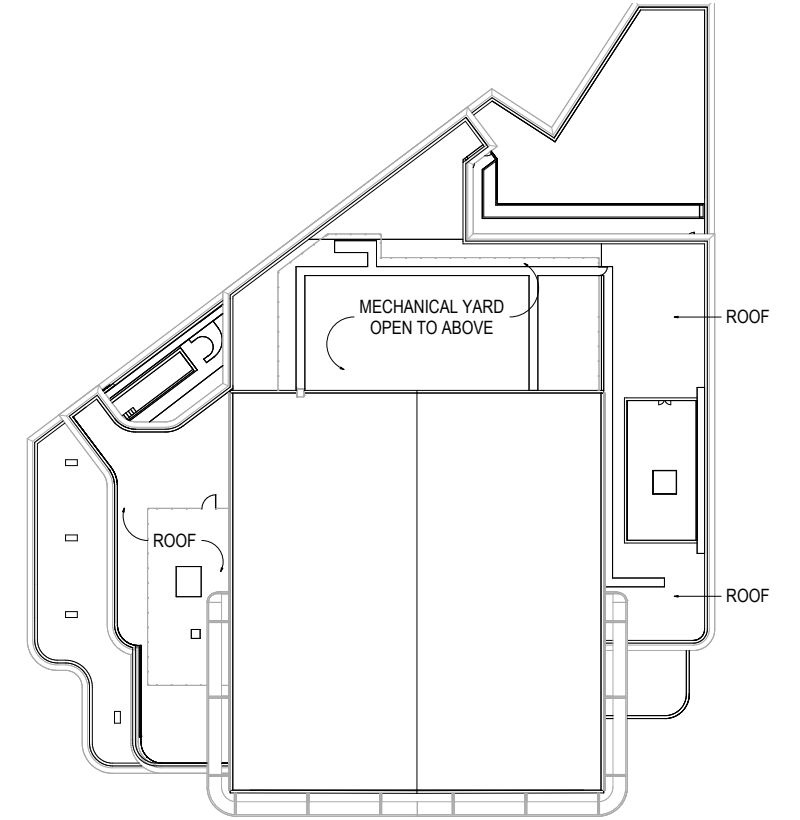
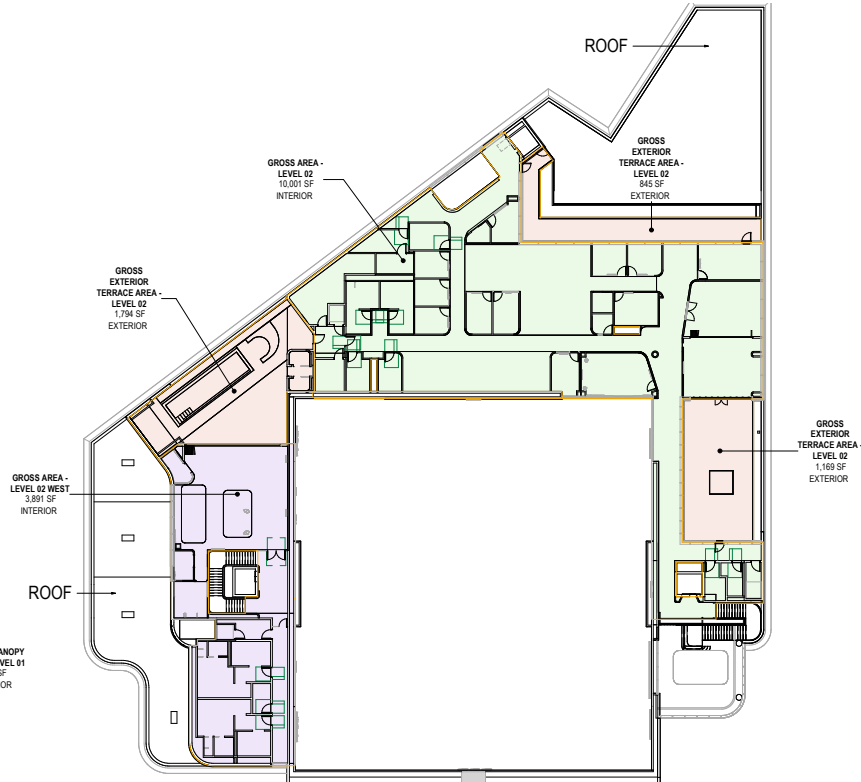
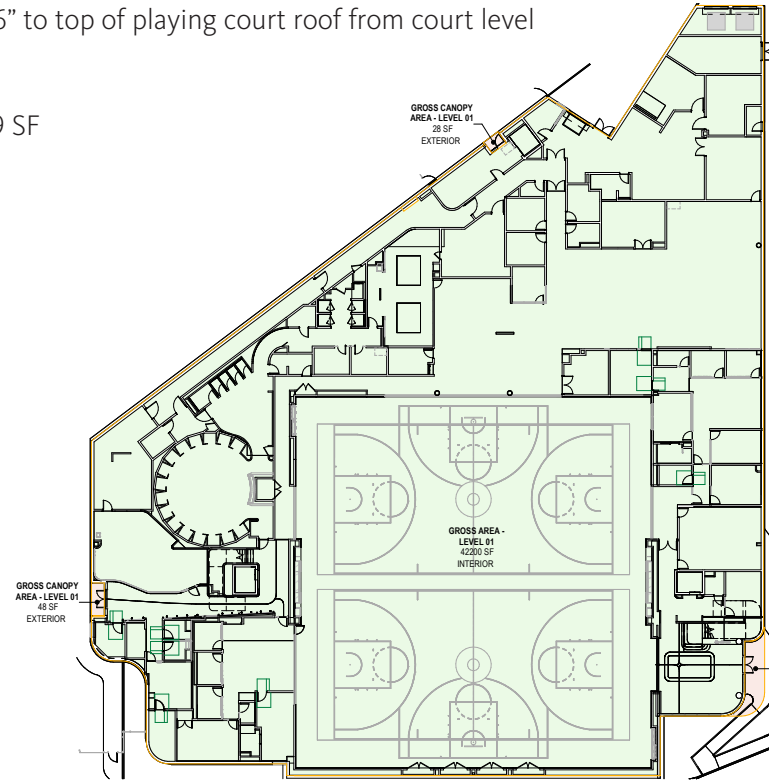
Building Address 2011 Rosecrans Ave
El Segundo, CA 90245

Building Type Type IIB Construction (proposed)
Fire Protection Fully Sprinklered

Levels Level 01 - Court Level | + 103'-0" ASL
Level 02 - Upper Level | + 121'-0" ASL

Height + 44'-6" to top of playing court roof from court level

Net Floor Area 56,099 SF



AREA SUMMARY

Gross Floor Area (Interior) 56,099 SF
Gross Floor Area (Exterior) 4,060 SF
Total 60,159 SF

LEVEL 01 - COURT LEVEL

Area (Interior) 42,200 SF
Area (Exterior) 252 SF

LEVEL 02 - UPPER LEVEL

Area (Interior) 13,899 SF
Area (Exterior) 3,808 SF

LEVEL 03 - ROOF

Area (Interior) 0 SF
Area (Exterior) 0 SF

BUILDING FLOOR PLAN & PARKING CALCULATIONS

BUILDING PROGRAM

- 1 EAST ENTRANCE
- 2 MAIN LOBBY
- 3 WEST ENTRANCE
- 4 NORTH ENTRANCE
- 5 PRACTICE COURTS
- 6 PLAYER LOCKER ROOM
- 7 PLAYER DEVELOPMENT SPACES
- 8 COACHING STAFF
- 9 EQUIPMENT STORAGE
- 10 LOADING DOCK
- 11 BUSINESS OPERATIONS
- 12 EXTERIOR PLAYER DECK SPA

PARKING CALCULATION BY AREA

	PARKING SPACES REQUIRED*
PLAYERS	16
Level 1 General Office 5,400 SF / 300	18
Level 2 General Office 6,000 SF / 300	20
TOTAL	54

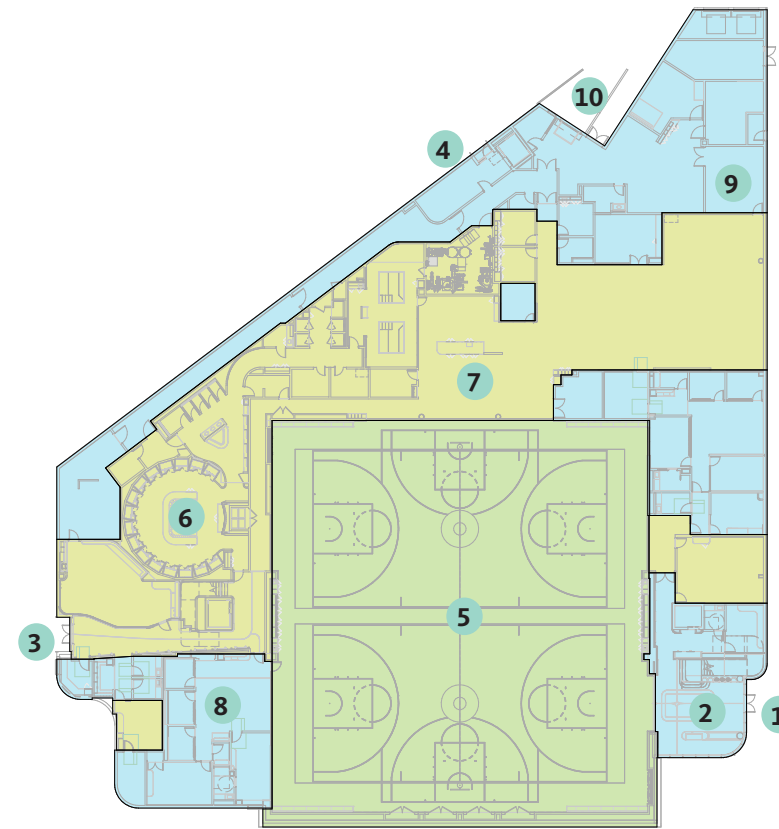
* Per State law AB 2097, the project is subject to a zero minimum parking requirement. This Professional Basketball Team HQ is a private use facility classified under business occupancy. The Player and Player Development Spaces are private, dedicated for 16 players. The General Office area parking requirements are calculated using ESMC 15-15-6, which requires 1 parking space per 300 SF.

LOADING SPACE

Loading dock is sized to accommodate a small truck or a passenger bus. A dock leveler, bumpers and vehicle restraint system to be provided. A service ramp is provided for rolling equipment and gear from the receiving area to exterior parking.

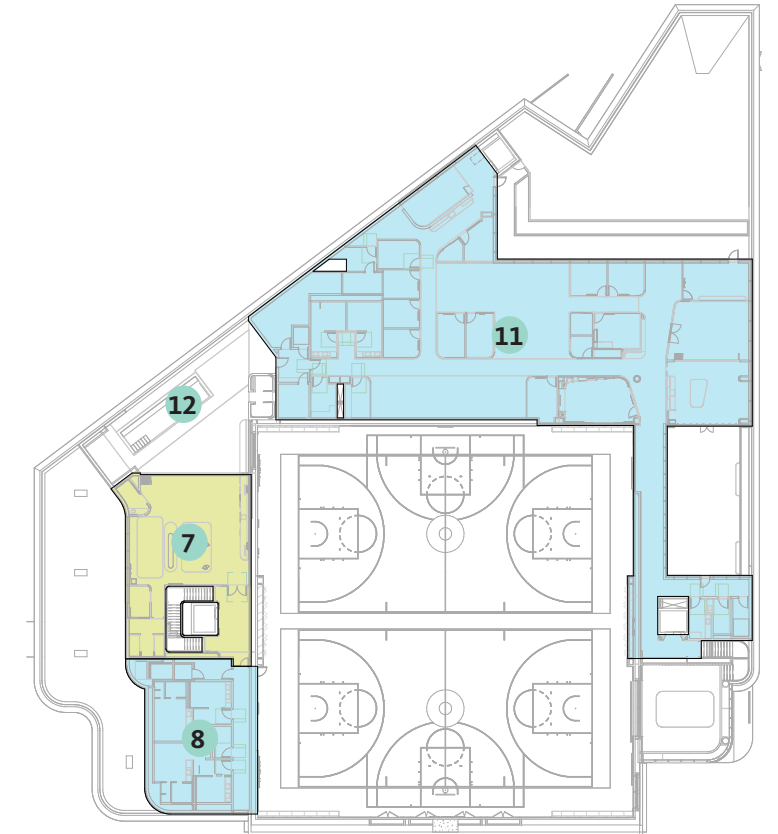
PROVIDED BICYCLE PARKING

REQUIRED SHORT TERM	2.95 BICYCLE STALLS 54 X 0.05 = 2.7 BICYCLE STALLS
REQUIRED LONG TERM	2.95 BICYCLE STALLS 54 X 0.05 = 2.7 BICYCLE STALLS
PROVIDED BICYCLE STALL	6 SHORT TERM 6 LONG TERM



LEVEL 01 - COURT LEVEL

■ General Office Area	5,400 SF
■ Player & Player Development Spaces	36,800 SF



LEVEL 02 - UPPER LEVEL

■ General Office Area	6,000 SF
■ Player & Player Development Spaces	7,899 SF

LANDSCAPE SUMMARY

BUILDING PROGRAM

- 1** FRONT SETBACK SOFT-SCAPE WITH TALL SHRUB PLANTING AND BERM. SHADE TREE CALCULATION ALONG ROSECRANS DISTRIBUTED WITHIN OVERALL SITE
NOTE: OIL EASEMENT AND ELEVATION OF OIL LINE PIPES ALONG ROSECRANS AVE RESTRICTS PLANTING DEPTH FOR SHADE TREES. REFER TO SURVEY AND CIVIL DRAWING FOR ADDITION EASEMENT INFORMATION
- 2** SIDE SETBACK TREES AND PLANTING
- 3** REAR SETBACK TREES AND PLANTING
- 4** LOADING DOCK PLANT SCREENING
- 5** OUTDOOR TERRACE WITH PLANTING (LEVEL 02)
- 6** FENCE-LINE
- 7** VEHICULAR GATES
- 8** ENTRY PLAZA
- 9** SIDEWALK / HARD-SCAPE
- 10** SMALL TRUCK LOADING DOCK (10'W X 25'L)
- 11** PERMANENT SHORING WALL

PARCEL 2 SUMMARY

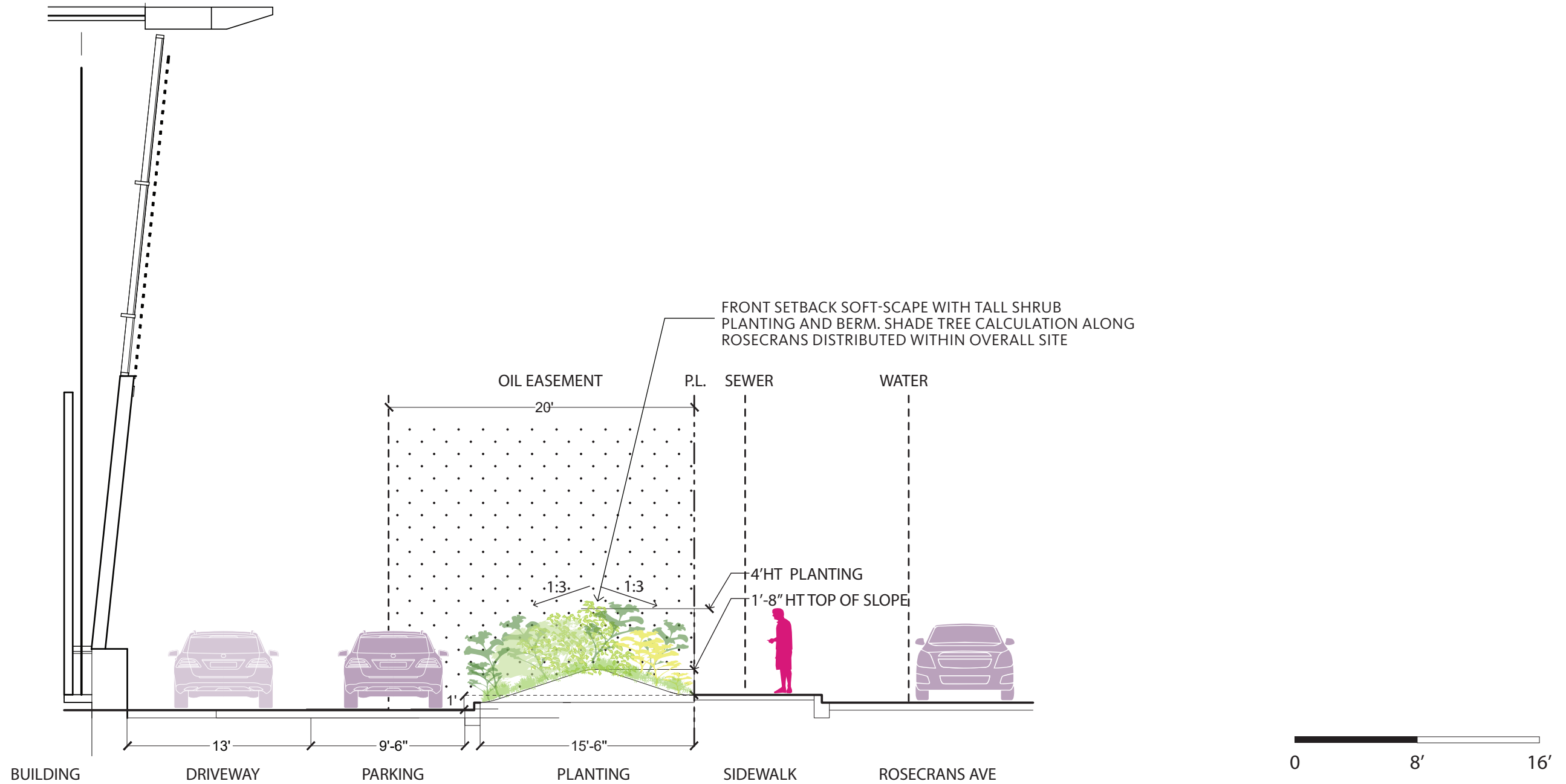
Lot Size	104,073 SF 2.389 Acres
Open Space	61,873 SF <small>104,073 SF - 42,200 SF (West Bldg Footprint)</small>
Gross Floor Area	60,159 SF
Provided Parking	54 Spaces

LANDSCAPE AREA

Vehicular Use Area (VUA)	36,000 SF <small>1 tree per each 3,000 SF</small>
Required Landscape Area	1,800 SF <small>36,000 SF X 5%</small>
Landscape Area Provided	16,000 SF
Required Tree Count Based on VUA	12 Trees
Required Tree Count - Public Right of Way	12 Trees <small>1:25' street frontage 300' street frontage</small>
Total Required Tree Count	24 Trees



SITE SECTION | WITH BERM



SITE PLANTING - LANDSCAPE PLAN

TREE LEGEND

SYMBOL	KEY GENUS	SPECIES	SCIENTIFIC NAME	COMMON NAME
	ARB	MAR	<i>Arbutus 'Marina'</i>	Strawberry Tree
	OLE	EUR	<i>Olea europaea</i>	Olive
	PAR	DES	<i>Parkinsonia x 'Desert Museum'</i>	Desert Museum Palo Verde
	TRI	ELE	<i>Tristania laurina 'Elegant'</i>	Water Gum
	WAS	ROB	<i>Washingtonia Robusta</i>	Mexican Fan Palm

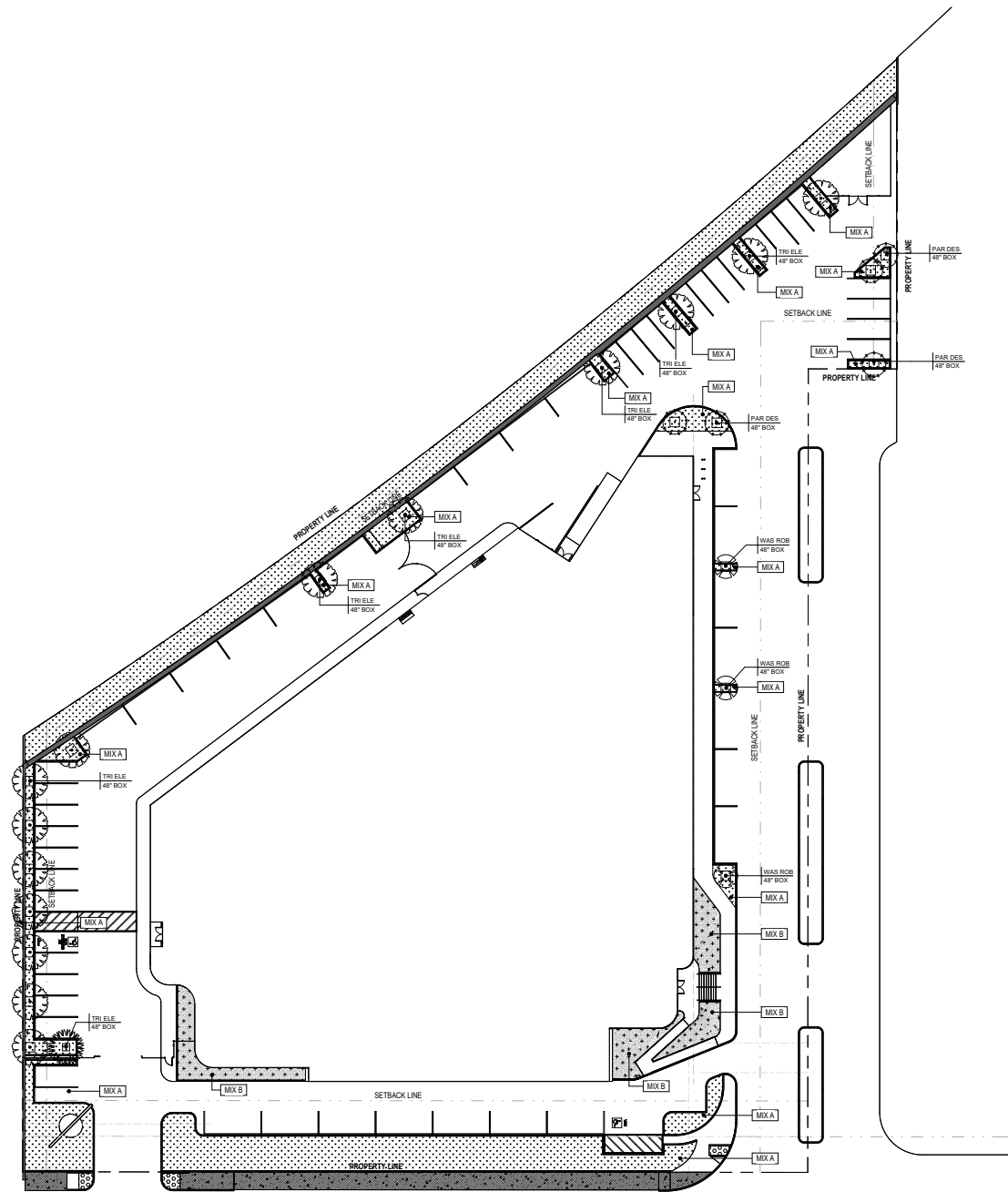
SHRUB MIX LEGEND



MIX A
Grevillea 'Moonlight'
Acacia linearifolia 'Breeze'
Lomandra longifolia 'Breeze'
Lomandra x intermedia
Hebe spp.
Leucadendron 'Safari Sunset'
Acacia 'Cousin It'
Muhlenbergia capillaris
Laysan candelabra 'Canyon Pinoc'
Yucca pallida
Yucca rostrata
Yucca whipplei
Cycas revoluta



MIX B
Lomandra longifolia 'Breeze'
Sprentzia nicotae
Woodwardia frimbriata
Kalanchoe beharensis
Chamaerops humilis
Howea forsteriana
Acacia 'Cousin It'
Acacia sellowiana
Crattha cooperi
Monstera deliciosa
Leucadendron 'Safari Sunset'
Philodendron spp.



OVERALL LANDSCAPE PLAN 1
 1" = 20'-0"



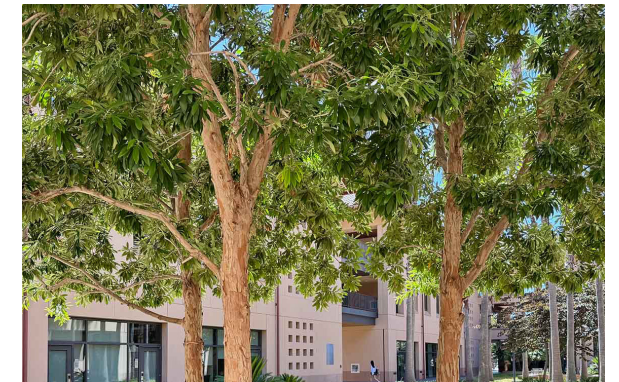
Arbutus 'Marina'
 STRAWBERRY TREE



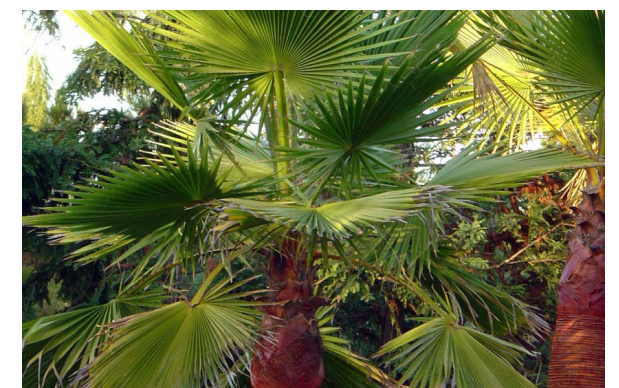
Olea europaea
 OLIVE



Parkinsonia x 'Desert Museum'
 DESERT MUSEUM PALO VERDE



Tristania Laurina 'Elegant'
 WATER GUM



Washingtonia Robusta
 MEXICAN FAN PALM

SITE PLANTING LOOK & FEEL - PALM OASIS



Acca sellowiana
PINEAPPLE GUAVA



Brahea armata
MEXICAN BLUE PALM



Caryota mitis
FISHTAIL PALM



Cycas revoluta
SAGO PALM



Leymus condensatus 'Canyon Prince'
CANYON PRINCE WILD RYE



Monstera deliciosa
SWISS CHEESE PLANT



Strelitzia nicolai
WILD BANANA



Washingtonia filifera
CALIFORNIA PALM



Yucca pallida
PALE YUCCA

SITE PLANTING LOOK & FEEL - SENSORY STIMULATION



Acacia sellowiana
WINTER WATTLE



Arbutus 'Marina'
MARINA STRAWBERRY TREE



Carex pansa
SAND DUNE SEDGE



Grevillia 'Moonlight'
MOONLIGHT GREVILLEA



Kalanchoe beharensis
VELVET ELEPHANT EAR



Lavandula x intermedia
PHENOMENAL LAVENDER



Leucadendron 'Safari Sunset'
SAFARI SUNSET CONEBUSH

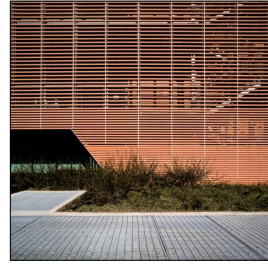


Parkinsonia x 'Desert Museum'
DESERT MUSEUM PALO VERDE

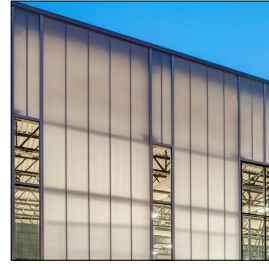


Salvia apiana
WHITE SAGE

EAST ELEVATION | MATERIAL LOOK & FEEL



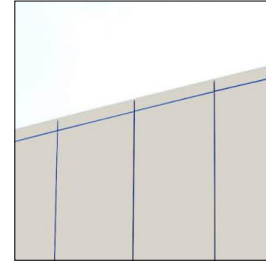
ARCHITECTURAL METAL PANEL (WOOD LOOK)



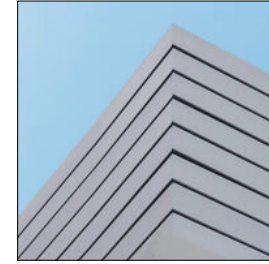
POLYCARBONATE WALL SYSTEM



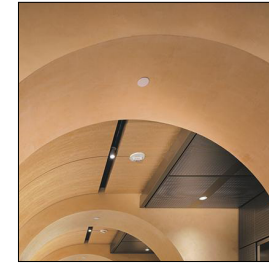
STORE FRONT SYSTEM



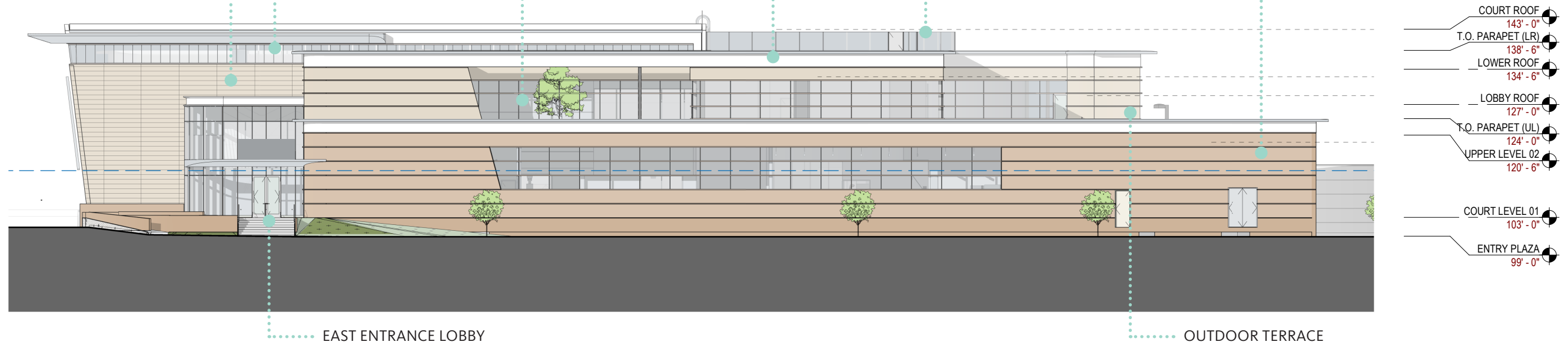
ARCHITECTURAL METAL PANEL



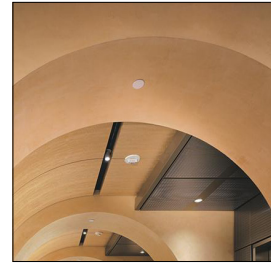
ROOF MECHANICAL SCREEN (10'-0"H)



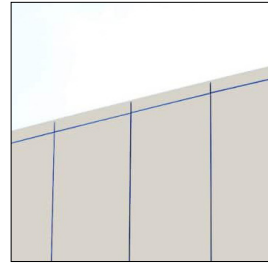
ARCHITECTURAL PLASTER CEMENT



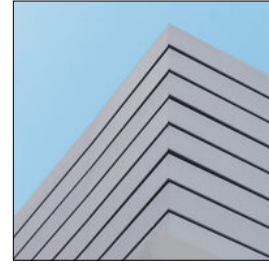
SOUTH ELEVATION | MATERIAL LOOK & FEEL



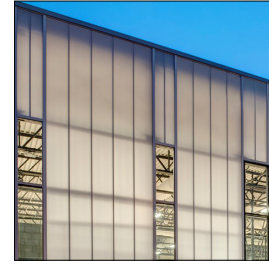
ARCHITECTURAL
PLASTER CEMENT



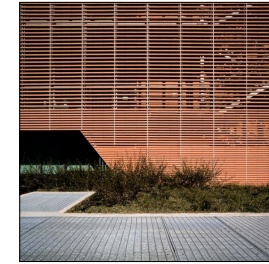
ARCHITECTURAL
METAL PANEL



ROOF MECHANICAL
SCREEN (10'-0"H)



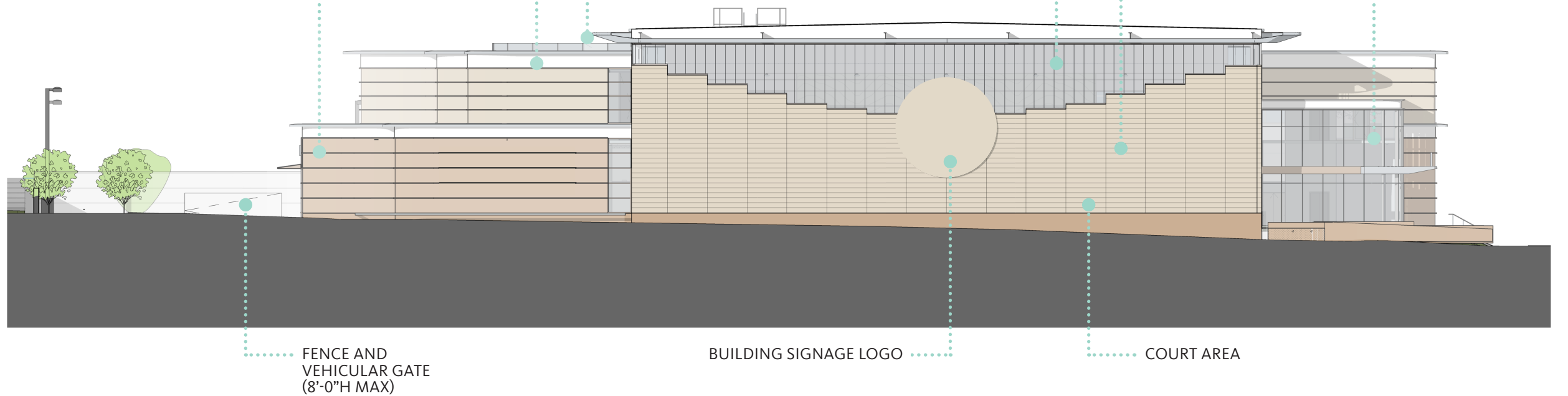
POLYCARBONATE
WALL SYSTEM



ARCHITECTURAL
METAL PANEL
(WOOD LOOK)



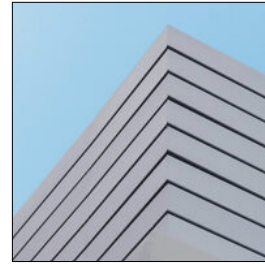
STORE FRONT SYSTEM



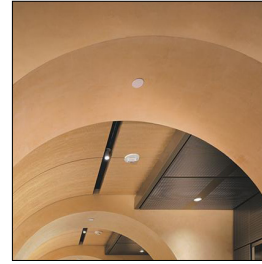
WEST ELEVATION | MATERIAL LOOK & FEEL



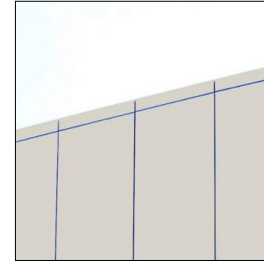
SITE FENCE ON TOP OF CONCRETE RETAINING WALL



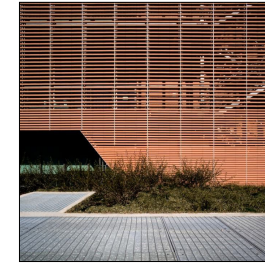
ROOF MECHANICAL SCREEN (10'-0"H)



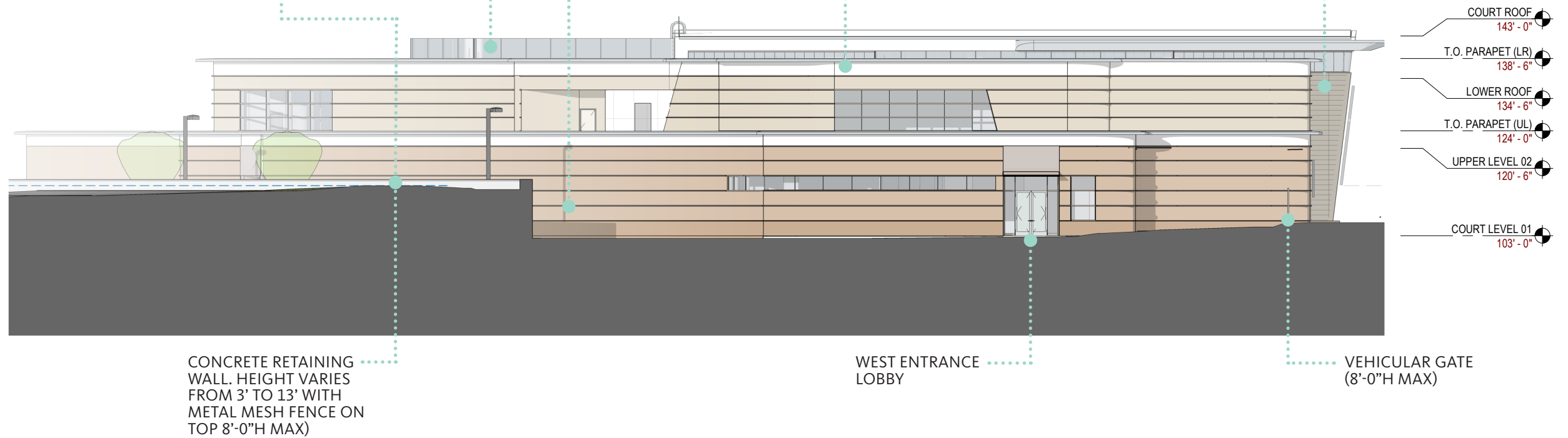
ARCHITECTURAL PLASTER CEMENT



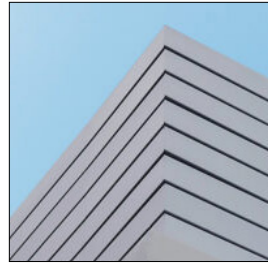
ARCHITECTURAL METAL PANEL



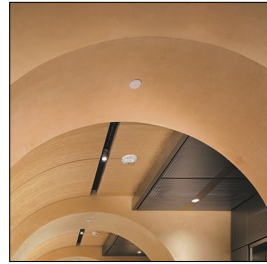
ARCHITECTURAL METAL PANEL (WOOD LOOK)



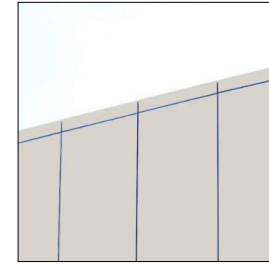
NORTH ELEVATION | MATERIAL LOOK & FEEL



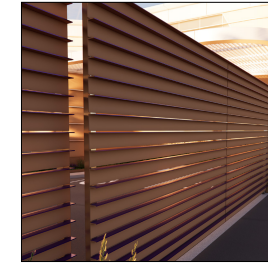
ROOF MECHANICAL SCREEN (10'-0"H)



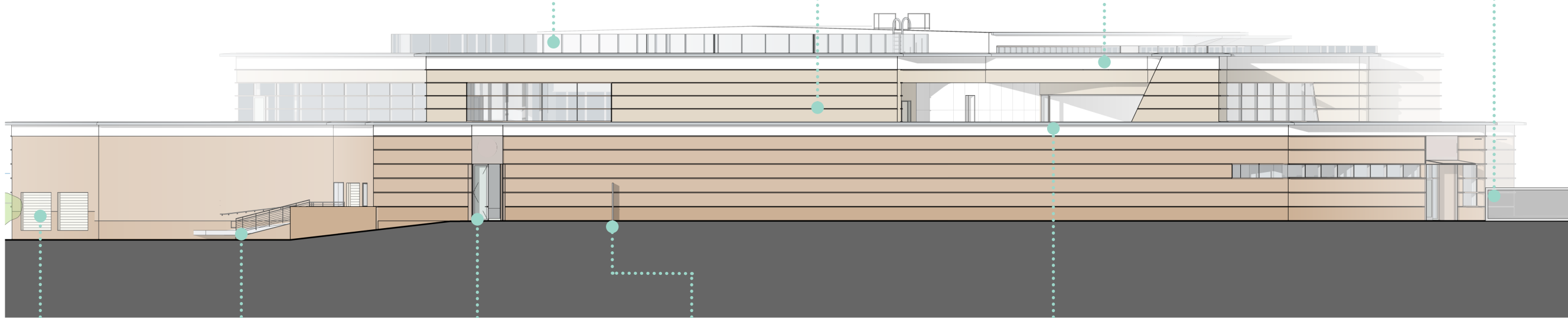
ARCHITECTURAL PLASTER CEMENT



ARCHITECTURAL METAL PANEL



VEHICULAR GATE AND SITE FENCE (8'-0"H)



TRASH ENCLOSURE (10'W X 8'H)

LOADING DOCK

NORTH ENTRANCE LOBBY

VEHICULAR GATE (8'-0"H MAX)

OUTDOOR POOL DECK

- COURT ROOF 143'-0"
- T.O. PARAPET (LR) 138'-6"
- LOWER ROOF 134'-6"
- T.O. PARAPET (UL) 124'-0"
- UPPER LEVEL 02 120'-6"
- COURT LEVEL 01 103'-0"
- ENTRY PLAZA 99'-0"

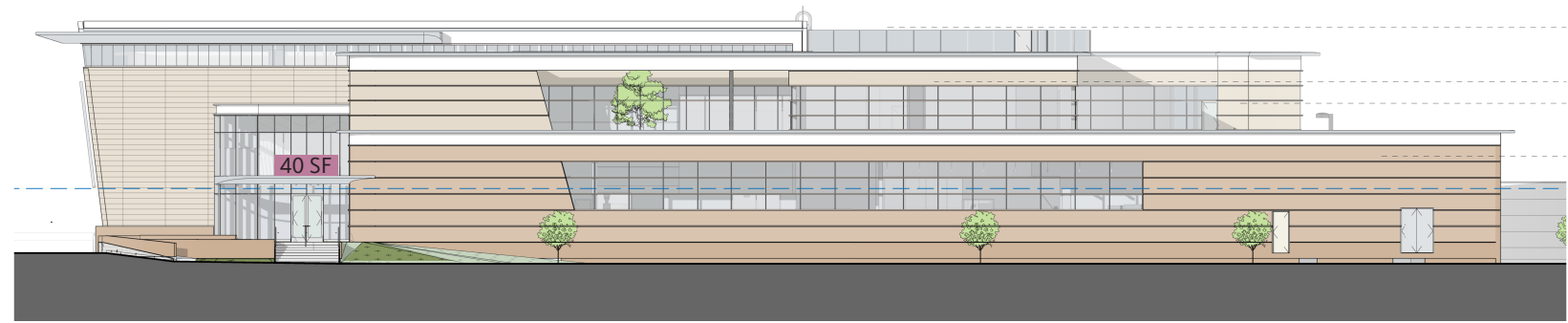
BUILDING SIGNAGE

LEGEND

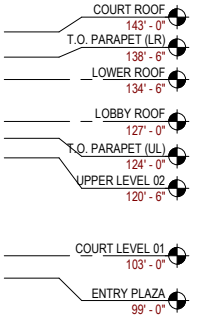
● SIGNAGE AREA

EAST ELEVATION

Building facade area 9,040 SF
 Max allowable area (5%) 452 SF
 Signage area 452 SF
 Signage coverage 5%

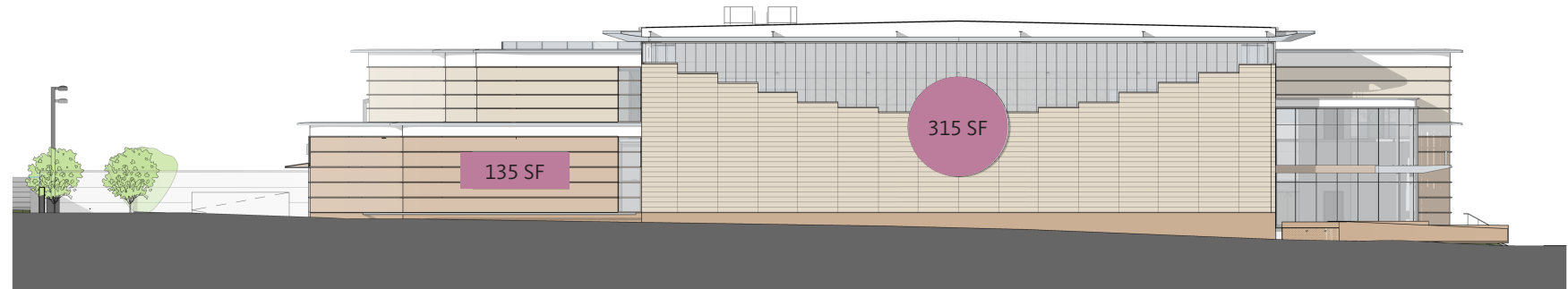


EAST ELEVATION

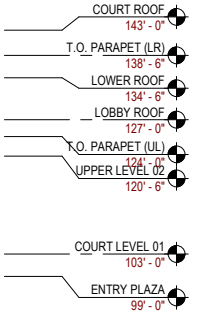


SOUTH ELEVATION

Building facade area 9,000 SF
 Max allowable area (5%) 450 SF
 Signage area 450 SF
 Signage coverage 5%

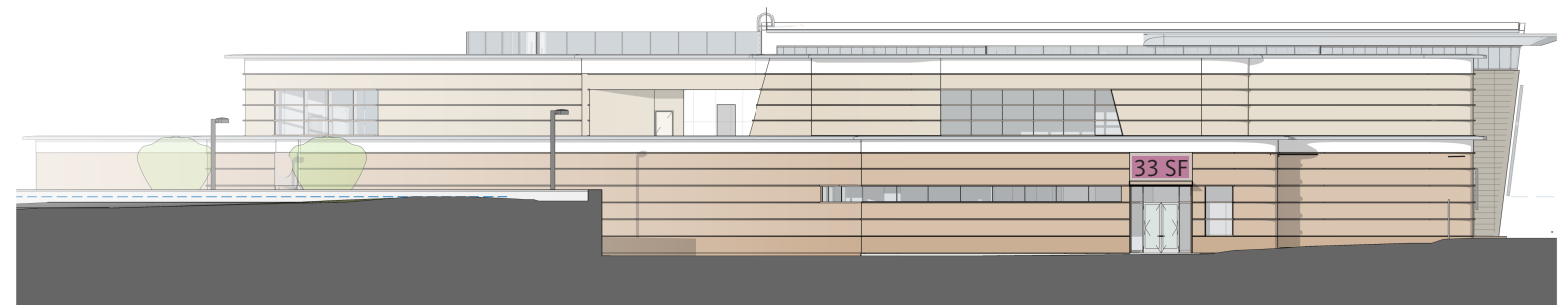


SOUTH ELEVATION

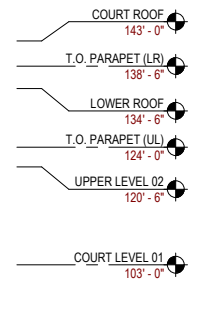


WEST ELEVATION

Building facade area 4,665 SF
 Max allowable area (5%) 234 SF
 Signage area 234 SF
 Signage coverage 5%

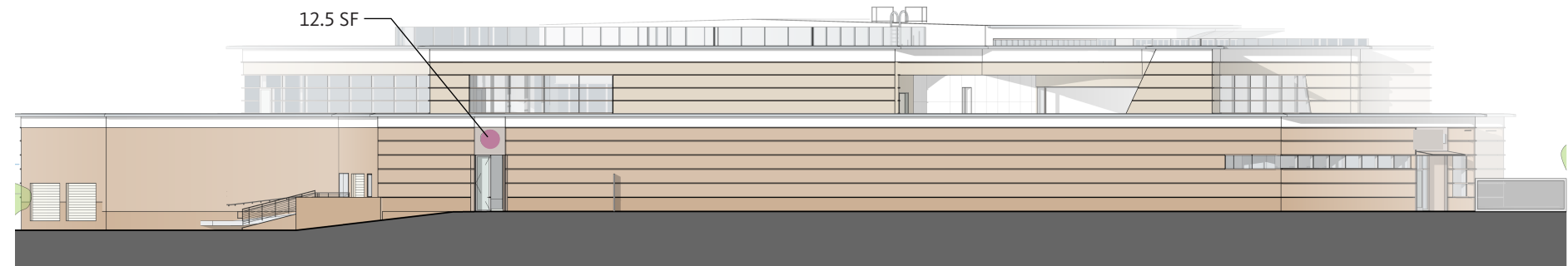


WEST ELEVATION

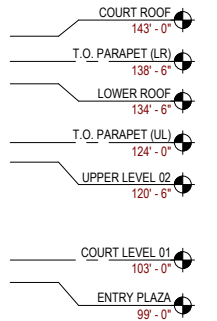


NORTH ELEVATION

Building facade area 7,650 SF
 Max allowable area (5%) 383 SF
 Signage area 383 SF
 Signage coverage 5%



NORTH ELEVATION



BUILDING SIGNAGE

LEGEND

● SIGNAGE AREA

ROOF

Roof area	40,000 SF
Max allowable area (5%)	2,000 SF
Signage area	2,000 SF
Signage coverage	5%

NOTE: OIL EASEMENT AND ELEVATION OF OIL LINE PIPES ALONG ROSECRANS AVE RESTRICTS PLANTING DEPTH FOR SHADE TREES. REFER TO SURVEY AND CIVIL DRAWING FOR ADDITION EASEMENT INFORMATION





Date	Description
09/30/2025	CONSTRUCTION DOCUMENT PROGRESS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
2500096
Description
SURVEY (FOR REFERENCE ONLY)

C1.00

ALTA/NSPS LAND TITLE SURVEY

LEGAL DESCRIPTION

(FIRST AMERICAN TITLE INSURANCE COMPANY, PRELIMINARY REPORT ORDER NO. NCS-986892A-LA2 UPDATED MARCH 11, 2025 AT 7:30 A.M.)
THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF EL SEGUNDO, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:
THE SURFACE AND THAT PORTION OF THE SUBSURFACE WHICH LIES ABOVE A PLANE 450 FEET BELOW THE MEAN LOW WATER LEVEL OF THE PACIFIC OCEAN (AS SAID MEAN LOW WATER LEVEL IS ESTABLISHED BY U.S. COAST AND GEODETIC SURVEY BENCH MARKS ALONG THE SHORE LINE) OF THE FOLLOWING DESCRIBED PROPERTY SITUATED IN THE CITY OF EL SEGUNDO, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, TO WIT:
PARCEL 2 OF PARCEL MAP NO. 2341, IN THE CITY OF EL SEGUNDO, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED IN BOOK 32, PAGE 99 OF PARCEL MAPS, IN SAID OFFICE OF THE COUNTY RECORDER.

TOGETHER WITH THAT PORTION OF PARCEL 1 OF PARCEL MAP NO. 2341, AS SHOWN ON THE MAP FILED IN BOOK 32, PAGE 99 OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER, LYING EASTERLY OF THE FOLLOWING DESCRIBED LINE:

BEGINNING AT THE WESTERLY CORNER OF SAID PARCEL 1; THENCE ALONG THE SOUTHERLY LINE OF SAID PARCEL, SOUTH 89° 57' 34" EAST, 281.05 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 00° 02' 26" EAST, 183.15 FEET TO THE NORTHWESTERLY LINE OF SAID PARCEL 1;

EXCEPTING ALL OIL, GAS, ASPHALTUM AND OTHER HYDROCARBON SUBSTANCES AND OTHER MINERALS, WHETHER SIMILAR TO THOSE HEREIN SPECIFIED OR NOT, WITHIN OR THAT MAY BE PRODUCED FROM SAID LAND; PROVIDED, HOWEVER, THAT THE SURFACE OF SAID LAND SHALL NEVER BE USED FOR THE EXPLORATION, DEVELOPMENT, EXTRACTION, REMOVAL OR STORAGE OF SAID OIL, GAS, ASPHALTUM, AND OTHER HYDROCARBON SUBSTANCES AND OTHER MINERALS; AND FURTHER PROVIDED NO INSTALLATION CONSTRUCTED THEREIN SHALL BE DISTURBED IN ANY MANNER IN EXTRACTING SAID RESERVED MINERALS, AS RESERVED IN DEED FROM STANDARD OIL COMPANY OF CALIFORNIA, RECORDED DECEMBER 20, 1960, AS INSTRUMENT NO. 1622, IN BOOK D-1069, PAGE 898, OFFICIAL RECORDS.

SAID LAND IS ALSO SHOWN AS PARCEL 2 OF LLA NO. 13-04 OF THAT CERTIFICATE OF COMPLIANCE LOT LINE ADJUSTMENT RECORDED DECEMBER 30, 2013 AS INSTRUMENT NO. 20131816582 OF OFFICIAL RECORDS.

FOR CONVEYANCING PURPOSES ONLY: APN 4138-015-064

EXCEPTIONS

(FIRST AMERICAN TITLE INSURANCE COMPANY, PRELIMINARY REPORT ORDER NO. NCS-986892A-LA2 UPDATED MARCH 11, 2025 AT 7:30 A.M.)
13 EASEMENT FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED MARCH 21, 1958 AS BOOK D-50, PAGE 224 OF OFFICIAL RECORDS.

IN FAVOR OF: FOUR CORNERS PIPE LINE COMPANY, A DELAWARE CORPORATION
AFFECTS: AS DESCRIBED THEREIN

12 AN EASEMENT FOR ELECTRIC TRANSMISSION LINES AND INCIDENTAL PURPOSES, RECORDED MAY 07, 1958 AS BOOK D-33, PAGE 487 OF OFFICIAL RECORDS.

IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN

19 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "ABANDONMENT AGREEMENT" RECORDED OCTOBER 05, 2005 AS INSTRUMENT NO. 05-2396460 OF OFFICIAL RECORDS.
(EASEMENT HAS BEEN CEASED AND ABANDONED PER INSTRUMENT NO. 05-2396460)

20 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DEVELOPMENT AGREEMENT" RECORDED DECEMBER 11, 2019 AS INSTRUMENT NO. 20191380759 OF OFFICIAL RECORDS.
(NOT PLOTTABLE; BLANKET IN NATURE; AFFECTS SUBJECT PROPERTY)

EXCEPTIONS

(FIRST AMERICAN TITLE INSURANCE COMPANY, PRELIMINARY REPORT ORDER NO. NCS-986892A-LA2 UPDATED MARCH 11, 2025 AT 7:30 A.M.)
13 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS RESERVED IN A DOCUMENT GRANTED TO: UTAH CONSTRUCTION & MINING CO., A DELAWARE CORPORATION PURPOSE: PIPELINES RECORDED: DECEMBER 20, 1960, AS INSTRUMENT NO. 1622, IN BOOK D-1069, PAGE 898, OFFICIAL RECORDS

AFFECTS: PORTIONS OF THE HEREIN DESCRIBED LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND.
REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS.
A "QUITCLAIM OF POLE LINE RIGHT OF WAY", RELATIVE TO THE ABOVE EASEMENT RECORDED ON DECEMBER 27, 1968, AS INSTRUMENT NO. 3384, OFFICIAL RECORDS.
AS AFFECTED BY AN AMENDMENT RECORDED DECEMBER 27, 2019 AS INSTRUMENT NO. 20191450972, OFFICIAL RECORDS.

14 COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDED: JULY 05, 1968, AS INSTRUMENT NO. 387, OFFICIAL RECORDS.
(NOT A SURVEY MATTER. AFFECTS SUBJECT PROPERTY)

15 AN EASEMENT FOR PIPE LINE AND INCIDENTAL PURPOSES, RECORDED DECEMBER 27, 1968 AS INSTRUMENT NO. 3386 OF OFFICIAL RECORDS.

IN FAVOR OF: STANDARD OIL COMPANY OF CALIFORNIA, A CORPORATION AND STANDARD GASOLINE COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN

16 COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDED: APRIL 02, 1985, AS INSTRUMENT NO. 85-360262, OFFICIAL RECORDS.

17 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 23, 1988 AS INSTRUMENT NO. 88-188564 OF OFFICIAL RECORDS.

IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN

18 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENT FOR THE PURPOSE SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT GRANTED TO: CONTINENTAL DEVELOPMENT CORPORATION PURPOSE: LANDSCAPING AND HARDSCAPING RECORDED: SEPTEMBER 16, 1996, AS INSTRUMENT NO. 96-1516215, OFFICIAL RECORDS

AFFECTS: PORTIONS OF THE HEREIN DESCRIBED LAND, THE EXACT LOCATION OF WHICH CAN BE DETERMINED BY EXAMINATION OF THE ABOVE-MENTIONED INSTRUMENT, WHICH CONTAINS A COMPLETE LEGAL DESCRIPTION OF THE AFFECTED PORTIONS OF SAID LAND.
REFERENCE IS MADE TO SAID DOCUMENT FOR FULL PARTICULARS.

19 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "PARTIAL RELEASE OF COMPLIANCE LOT LINE ADJUSTMENT" RECORDED DECEMBER 30, 2013 AS INSTRUMENT NO. 20131816577 OF OFFICIAL RECORDS.
(NOT A SURVEY MATTER. INSTRUMENT NO. 85-360262 AFFECTS SUBJECT PROPERTY. INSTRUMENT NO. 20131816577 DOES NOT AFFECT SUBJECT PROPERTY)

20 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED NOVEMBER 23, 1988 AS INSTRUMENT NO. 88-188564 OF OFFICIAL RECORDS.

IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
AFFECTS: AS DESCRIBED THEREIN

19 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "ABANDONMENT AGREEMENT" RECORDED OCTOBER 05, 2005 AS INSTRUMENT NO. 05-2396460 OF OFFICIAL RECORDS.
(EASEMENT HAS BEEN CEASED AND ABANDONED PER INSTRUMENT NO. 05-2396460)

20 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DEVELOPMENT AGREEMENT" RECORDED DECEMBER 11, 2019 AS INSTRUMENT NO. 20191380759 OF OFFICIAL RECORDS.
(NOT PLOTTABLE; BLANKET IN NATURE; AFFECTS SUBJECT PROPERTY)

SURVEYOR'S NOTES

NO OBSERVABLE EVIDENCE OF RECENT EARTH MOVING WORK OR BUILDING CONSTRUCTION.
NO OBSERVABLE EVIDENCE OF SIDEWALK CONSTRUCTION.
NO OBSERVABLE EVIDENCE OF CEMETERY OR BURIAL GROUNDS ON SITE PROPERTY.
NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL.
NO OBSERVABLE EVIDENCE OF STREAMS OR TRAILS ON SUBJECT PROPERTY.
THERE WERE NOT ANY DEMARCATIONS OF WETLAND AREAS ON THE SUBJECT PROPERTY AT THE TIME OF THE SURVEY.
NO BUILDINGS EXISTING ON THE SURVEYED PROPERTY.
THE SUBJECT PROPERTY IS CONTIGUOUS WITHOUT ANY GAPS, CORES, OR OVERLAPS.
THERE ARE NOT ANY PLOTTABLE OFFSITE EASEMENTS OR SERVITUDES, UNLESS PLOTTED HEREON.
CLIENT DID NOT PROVIDE A ZONING REPORT FOR OUR USE AND REVIEW.

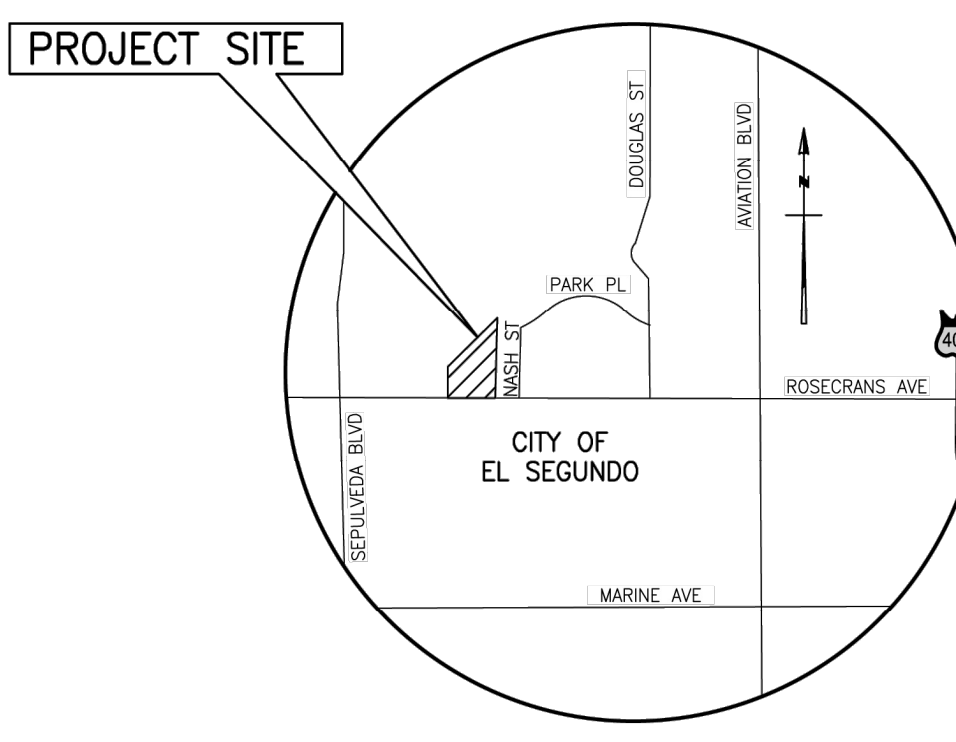
SURVEYOR'S CERTIFICATE

TO (I) ROSECRANS-SEPULVEDA PARTNERS 4, LLC, A DELAWARE LIMITED LIABILITY COMPANY, AND/OR ITS SUCCESSORS OR ASSIGNS, (II) DLA PAPER LLP (US), (III) FIRST AMERICAN TITLE INSURANCE COMPANY, AND (IV) LA RE DEVELOPMENT HOLDINGS, LLC, A DELAWARE LIMITED LIABILITY COMPANY:

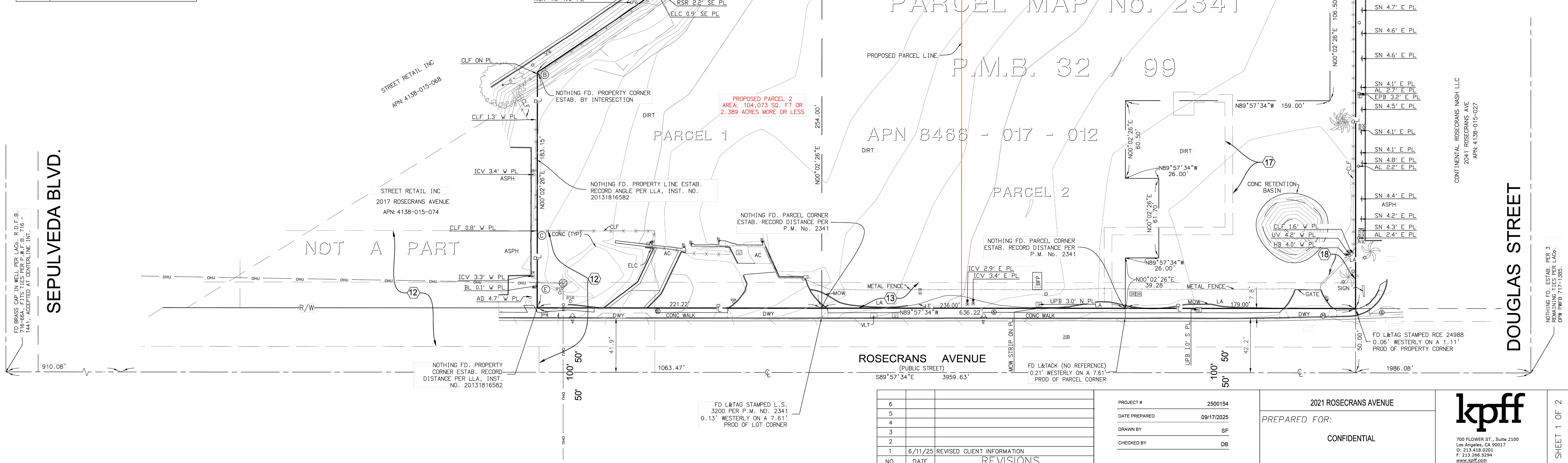
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(A), 8, 13, 14, 16, 17, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON MARCH 11, 2025.

PREPARED UNDER THE DIRECTION OF:

D. Bernese 09/17/2025
DENISSE BERNEJO, PLS 9950
denisse.bernejo@kpff.com



POSSIBLE ENCROACHMENTS	
(A)	BFP APPEARS TO ENCRACH INTO PL.
(B)	CLF APPEARS TO ENCRACH INTO PL.
(C)	CLF APPEARS TO ENCRACH INTO PL.
(D)	CLF APPEARS TO ENCRACH INTO PL.
(E)	BOLLARD APPEARS TO ENCRACH INTO PL.
(F)	CLF APPEARS TO ENCRACH INTO PL.



NO.	DATE	REVISIONS
6		
5		
4		
3		
2		
1	6/11/25	REVISED CLIENT INFORMATION

PROJECT #	2500154
DATE PREPARED	09/17/2025
DRAWN BY	SF
CHECKED BY	DB
2021 ROSECRANS AVENUE	
PREPARED FOR:	CONFIDENTIAL
kpff	700 FLOWER ST., Suite 2100 Los Angeles, CA 90017 Tel: 213 418 0201 Fax: 213 396 5394 www.kpff.com
SHEET 1 OF 2	

FOR REFERENCE ONLY

APPENDIX - A

PROFESSIONAL BASKETBALL TEAM HQ - SITE SURVEY - AUGUST 2025

CONFIDENTIAL TRAINING FACILITY

2011 ROSECRANS AVE.
EL SEGUNDO, CA. 90245

05.5301.000

SITE PLAN REVIEW REFERENCE PLANS
OCTOBER 2, 2025

Gensler

Gensler
Architect
500 S. Figueroa Street
Los Angeles CA 90071
213.327.3600

kpff

KPFF
Civil Engineer
700 South Flower Street, Suite 2100
Los Angeles, CA 90017
Tel 213.418.0201

RIOS

RIOS
Landscape
3110 W. Exposition Place
Los Angeles, CA 90018
Tel 323.785.1800

**MAGNUSSON
KLEMENCIC
ASSOCIATES**
Structural + Civil Engineers

Magnusson Klemencic Associates
Structural Engineer
1301 5th Ave #3200
Seattle, WA 98101
Tel 206.292.1200

me
engineers

ME Engineers
MEP Engineers
600 Wilshire Blvd. Suite 1200
Los Angeles, CA 90017
Tel 310.842.8700

WJHW
A PMY COMPANY

Wrightson, Johnson, Haddon & Williams, Inc.
AVIT Consultant
3424 Midcourt Rd, Suite 124
Carrollton, TX 75006
Tel 972.934.3700

HOWE
ENGINEERS

Howe Engineers
Fire Life Safety Consultant
141 Longwater Drive, Suite 110
Norwell, MA 02061
Tel 781.878.3500

S2O

S2O Consultants, Inc.
Food Service Design
14367 Finsbury
Spring Hill, FL 34609
Tel 813.505.1312

HLB

Horton Lees Brogden Lighting Design
Architectural Lighting
8580 Washington Blvd
Culver City, CA 90232
Tel 310.837.0929

AQUATIC
DESIGN GROUP

Aquatic Group
Pool Consultant
Street Name, Suite
City, State Zip
Tel 800.938.0542

**Thornton
Tomasetti**

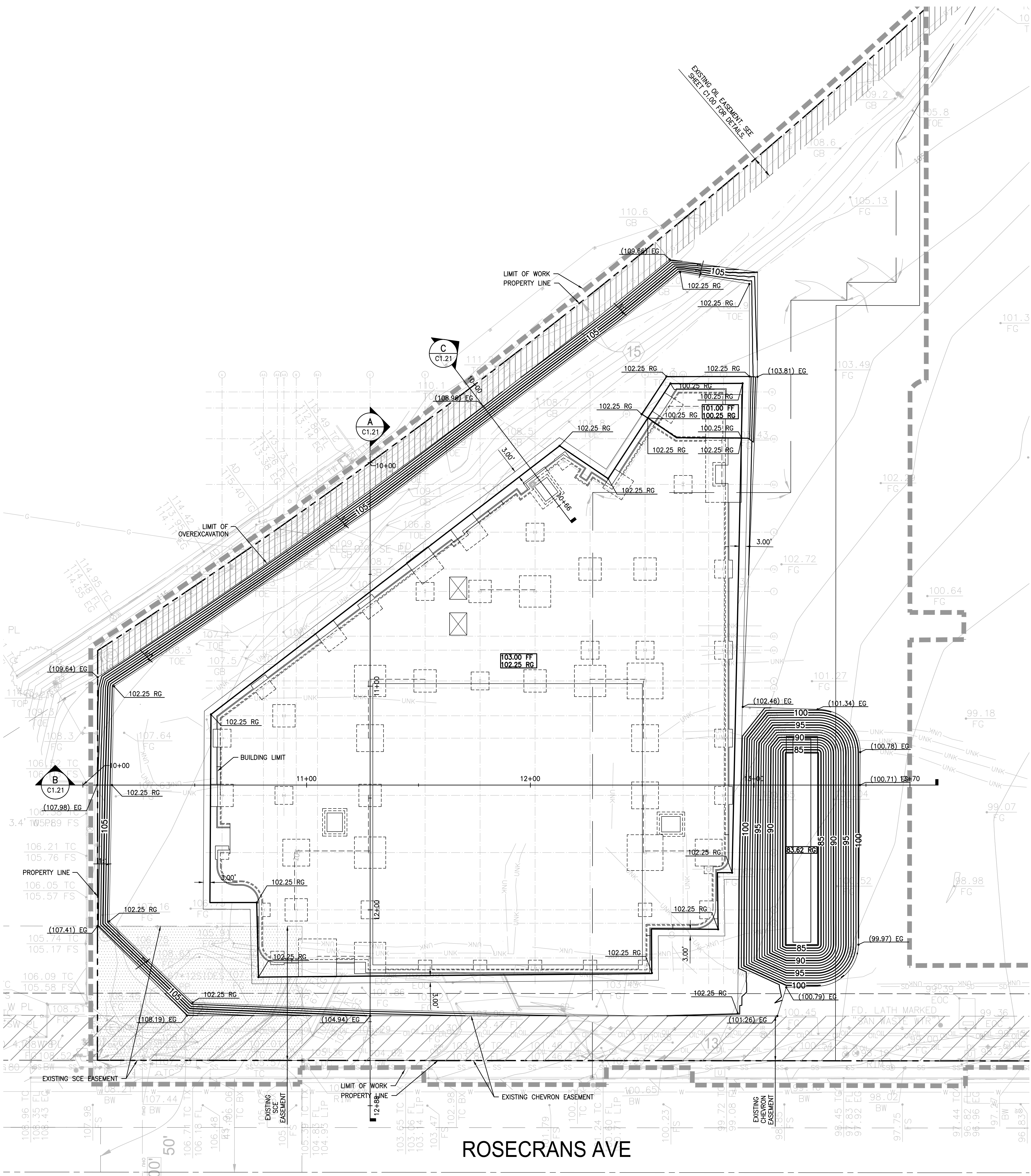
Thornton Tomasetti
Waterproofing
707 Wilshire Blvd, Suite 4450
Los Angeles, CA 90017
Tel 213.330.7000

BUEHLER

Buehler
Parking Consultant
444 S. Flower Street, Suite 750
Los Angeles, CA 90071
Tel 323.536.2363

blitz
LOS ANGELES

Blitz
Interior Design
8537 Washington Blvd
Culver City, CA 90232
Tel 310.343.5856



ROSECRANS AVE

April 1, 2025
File No. 22641
Page 10

Fill materials were encountered during exploration of the project site to depths ranging between 2½ and 5 feet below the existing grade. However, deeper fill materials should be expected at the site, as it is our understanding that old utilities and foundation elements corresponding to the previous development have been removed and backfilled. The existing fill is not suitable for support of new foundations or slabs-on-grade but may be reused for the construction of a compacted fill pad. Groundwater was not encountered to a depth of 60 feet below the existing grade.

The proposed performance facility structure may be supported by conventional foundations. Conventional foundations to support the at-grade portion of the structure may bear in a newly placed compacted fill pad. If the structure will include a partial subterranean parking level, it is recommended that the conventional foundations supporting this subterranean structure bear in the native alluvial soils expected at the subterranean subgrade.

For the creation of a uniform compacted fill pad to support the at-grade portion of the structure, all existing fill materials and upper alluvial soils should be removed and recompacted to a minimum depth of 5 feet below the proposed grade, or of 3 feet below the bottom of the proposed foundations, whichever is deeper. In addition, the compacted fill should extend horizontally a minimum of 3 feet beyond the edge of foundations, or for a distance equal to the depth of fill below the foundation, whichever is greater.

Excavations on the order of 5 to 18 feet in depth may be anticipated for the recommended removal and recompaction, and for construction of the potential subterranean parking level. These depths include the depth of foundation elements. The "Temporary Excavations" section of this report provides recommendations to maintain a stable excavation during construction.

Geotechnologies, Inc.
439 Western Avenue, Glendale, California 91201-2837 • Tel: 818.240.9600 • Fax: 818.240.9675
www.geotec.com

April 1, 2025
File No. 22641
Page 26

by the evaporation of water. The white powder usually consists of soluble salts such as gypsum, calcite, or common salt. Efflorescence is common to retaining walls and does not affect their strength or integrity.

It is recommended that retaining walls be waterproofed. Waterproofing design and inspection of its installation is not the responsibility of the geotechnical engineer. A qualified waterproofing consultant should be retained in order to recommend a product or method which would provide protection to below grade walls.

Retaining Wall Backfill

Any required backfill should be mechanically compacted in layers not more than 8 inches thick, to at least 90 percent relative compaction, obtainable by the most recent revision of ASTM D 1557 method of compaction. Flooding should not be permitted. Compaction within 5 feet, measured horizontally, behind a retaining structure should be achieved by use of light weight, hand operated compaction equipment.

Proper compaction of the backfill will be necessary to reduce settlement of overlying walks and paving. Some settlement of required backfill should be anticipated, and any utilities supported therein should be designed to accept differential settlement.

TEMPORARY EXCAVATIONS

It is anticipated that excavations between 5 and 18 feet in vertical height may be required for the proposed grading, and construction of the potential partial subterranean parking garage. The excavations are expected to expose fill and dense native soils, which are suitable for vertical excavations up to 5 feet where not surcharged by adjacent traffic or structures.

Geotechnologies, Inc.
439 Western Avenue, Glendale, California 91201-2837 • Tel: 818.240.9600 • Fax: 818.240.9675
www.geotec.com

April 1, 2025
File No. 22641
Page 27

Where temporary excavations will be surcharged by a driveway or a property line, these excavations may be performed with the aid of slot-cuts to a maximum height of 6 feet. The slot cutting methodology is discussed in a following section. Slot-cut excavations exceeding a height of 6 feet, or temporary excavations which will be surcharged by an adjacent structure should be shored.

Where sufficient space is available, temporary unshored embankments could be sloped back without shoring. Excavations over 5 feet in height may be excavated at a uniform 1:1 (h:v) slope gradient in its entirety to a maximum height of 20 feet. A uniform sloped excavation does not have a vertical component.

Where sloped embankments are utilized, the tops of the slopes should be barricaded to prevent vehicles and storage loads near the top of the slope. If the temporary construction embankments are to be maintained during the rainy season, berms are suggested along the tops of the slopes where necessary to prevent runoff water from entering the excavation and eroding the slope faces. The soils exposed in the cut slopes should be inspected during excavation by personnel from this office so that modifications of the slopes can be made if variations in the soil conditions occur.

It is critical that the soils exposed in the cut slopes are observed by a representative of this office during excavation so that modifications of the slopes can be made if variations in the earth material conditions occur. All excavations should be stabilized within 30 days of initial excavation. Water should not be allowed to pond on top of the excavation or to flow towards it.

Slot Cutting

In order to maintain a stable excavation, the slot cutting method may be utilized where temporary excavations will temporarily undermine a property line or a driveway. The "A-B-C" slot-cutting procedure is recommended.

Geotechnologies, Inc.
439 Western Avenue, Glendale, California 91201-2837 • Tel: 818.240.9600 • Fax: 818.240.9675
www.geotec.com

LEGEND:

- LIMIT OF WORK
- TOP TOE GRADE SLOPE (HORIZONTAL:VERTICAL)
- PROPERTY LINE
- EASEMENT LINE
- [Pattern] SOUTHERN CALIFORNIA EDISON EASEMENT
- [Pattern] CHEVRON EASEMENT
- [Pattern] OIL EASEMENT

ESTIMATED EARTHWORK QUANTITIES	
CUT:	2,000 CUBIC YARDS
FILL:	100 CUBIC YARDS
OVEREX & RECOMPACT:	24,000 CUBIC YARDS
NET IMPORT CUT:	1,900 CUBIC YARDS

- NOTES:**
- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
 - ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
 - THE ESTIMATED EARTHWORK QUANTITIES INCLUDE SHRINKAGE (15%) AND/OR EXPANSION (30%) FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
 - THE CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES NECESSARY FOR THEIR BID AND WORK.
 - ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING; HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.

- ROUGH GRADING NOTES:**
- ROUGH GRADE ELEVATION = 102.25
BUILDING FF = 103
- 5" BUILDING SLAB PER STRUCTURAL PLANS
- 4" LAYER OF DRY GRANULAR MATERIAL
 - ROUGH GRADE ELEVATION = 100.25
BUILDING FF = 101
- 5" BUILDING SLAB PER STRUCTURAL PLANS
- 4" LAYER OF DRY GRANULAR MATERIAL

NOTE:
PER GEOTECHNICAL REPORT, ALL EXISTING FILL MATERIALS AND UPPER ALLUVIAL SOLIDS SHOULD BE REMOVED AND RECOMPACTED TO A MINIMUM DEPTH OF 5 FEET BELOW THE PROPOSED GRADE, OR 3' BELOW THE BOTTOM OF THE PROPOSED FOUNDATION, WHICHEVER IS DEEPER. IN ADDITION, THE COMPACTED FILL SHOULD EXTEND HORIZONTALLY A MINIMUM OF 3 FEET BEYOND THE EDGE OF FOUNDATIONS, OR FOR A DISTANCE EQUAL TO THE DEPTH OF FILL BELOW THE FOUNDATION, WHICHEVER IS GREATER.

NOTE:
GRADING WORK WITHIN EASEMENT LIMITS MAY REQUIRE REVIEW AND APPROVAL BY EASEMENT OWNER. CONTRACTOR MAY CONSIDER SHORING AS AN OPTION TO REDUCE FOOTPRINT OF GRADING WORK TO AVOID WORKING WITHIN EASEMENTS.

NOTE:
ROUGH GRADE ELEVATION IS BASED ON PROPOSED 5" STRUCTURAL SLAB ABOVE 4" GRAVEL LAYER PER GEOTECHNICAL RECOMMENDATION.
ADDITIONAL EXCAVATION BELOW FOOTINGS WILL BE REQUIRED PER GEOTECHNICAL REPORT RECOMMENDATIONS.

CONFIDENTIAL TRAINING FACILITY
2011 ROSECRANS AVE.
EL SEGUNDO, CA 90245

Gensler
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3800
Fax: 213.327.3601

kpff
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS
RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800
Tel: 213.418.0201

MAGNUSON KLEIN
1301 5th Ave #2000
Seattle, WA 98101
Tel: 206.292.1200

me engineers
ME Engineers
600 Wilshire Blvd, Suite 1200
Los Angeles, CA 90017
Tel: 310.842.8700

WJHW
Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd, Suite 124
Carrollton, TX 75006
Tel: 972.934.3700

HOWE ENGINEERS
Howe Engineers
141 Longwater Drive
Suite 111
Norwell, MA 02061
Tel: 781.878.3500

S2O
S2O Consultants, Inc.
14387 Finlady Drive
Spring Hill, FL 34609
Tel: 813.505.1312

HLB
Horton Lees Brogden Lighting Design
8550 Washington Blvd
Culver City, CA 90232
Tel: 310.837.9529

AQUATIC
Aquatic Group
2205 Faraday Avenue
Carlsbad, CA 92008
Tel: 800.938.0542

Thornton Tomasetti
Thornton Tomasetti
707 Wilshire Blvd, Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUEHLER
Blizler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363

blitz
Blitz
6537 Washington Blvd
Culver City, CA 90232
Tel: 310.345.8556

Date	Description
09/30/2025	CONSTRUCTION DOCUMENT PROGRESS

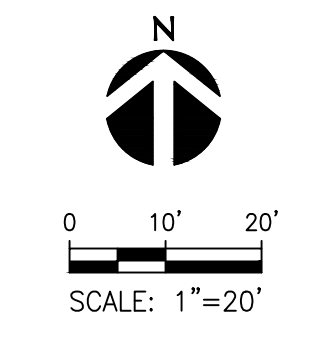


Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
2500096
Description
ROUGH GRADE PLAN

C1.20



CONFIDENTIAL TRAINING FACILITY
2021 ROSECRANS AVE.
EL SEGUNDO, CA 90245

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff

KPFF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS

RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800
Tel: 213.418.0201

me engineers

MAGNUSON KLEMMENCIC ASSOCIATES
ME Engineers
600 Wilshire Blvd., Suite 1200
Los Angeles, CA 90017
Tel: 310.842.8700
Tel: 206.292.1200

WJHW
A PMV COMPANY

Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd., Suite 124
Canyonville, TX 75008
Tel: 972.934.3700

HOWE ENGINEERS

Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500

S2O

S2O Consultants, Inc.
14387 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

HLB

Horton Lees Brogden Lighting Design
8550 Washington Blvd.
Culver City, CA 90232
Tel: 310.837.9529

AQUATIC
DESIGN GROUP

Aquatic Group
2226 Faraday Avenue
Carlsbad, CA 92008
Tel: 800.938.0542

Thornton Tomasetti

Thornton Tomasetti
707 Wilshire Blvd., Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUEHLER

Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363

blitz
LOS ANGELES

Blitz
6537 Washington Blvd
Culver City, CA 90232
Tel: 310.345.8556

Date	Description
10/28/2025	ISSUE FOR PLAN CHECK



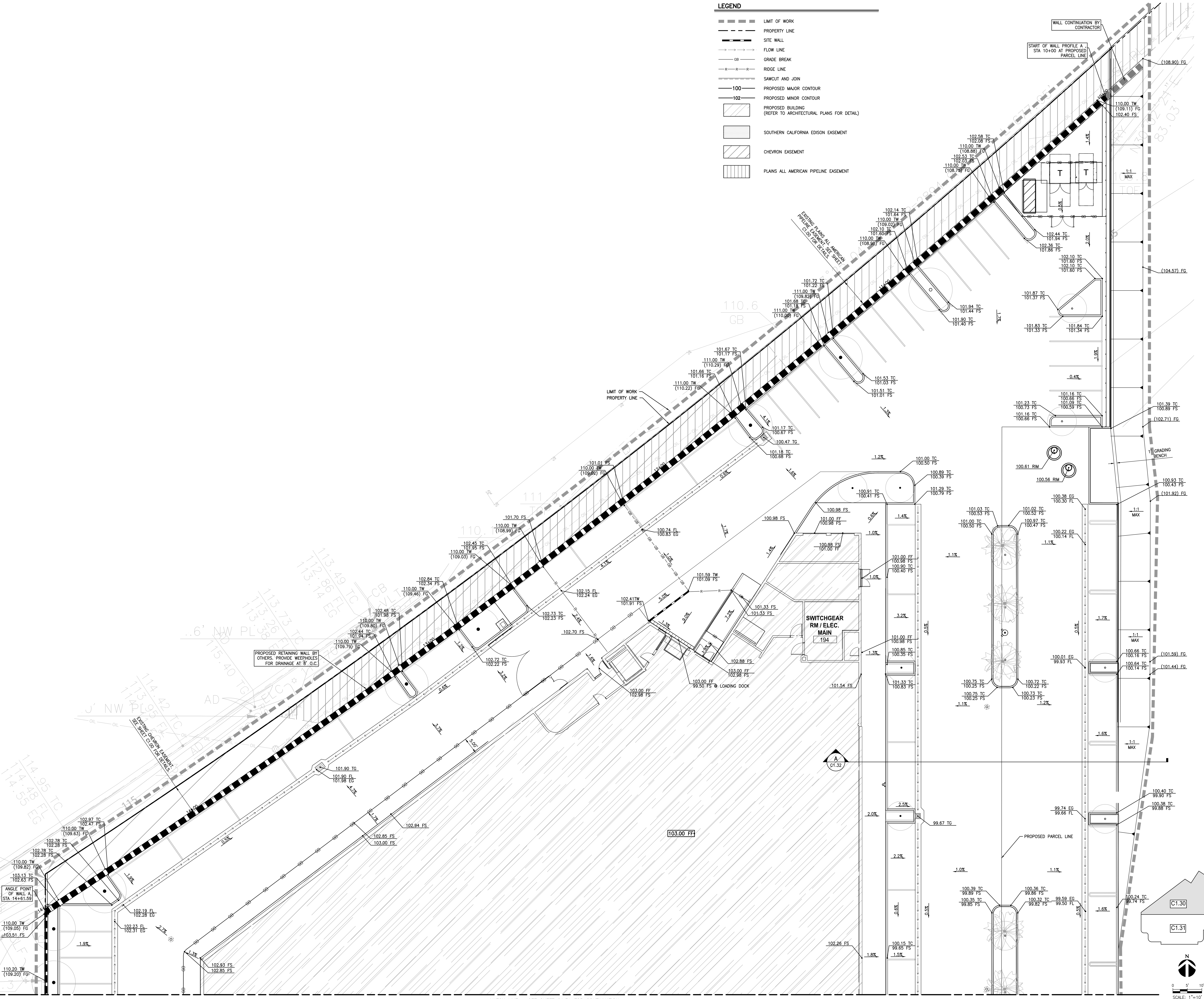
Seal / Signature

NOT FOR CONSTRUCTION

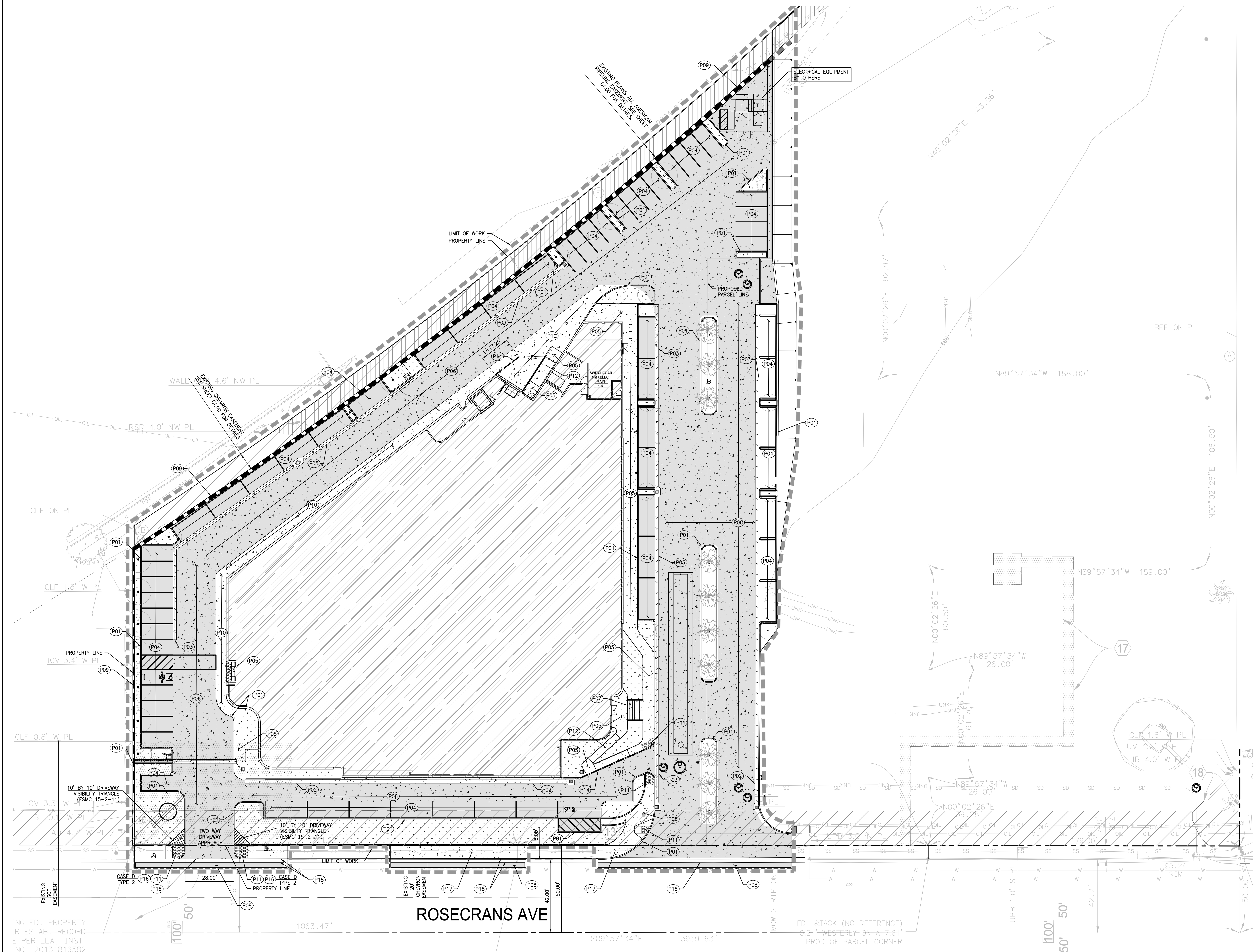
Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
2500096
Description
GRADING AND DRAINAGE PLAN

C1.30

- LEGEND**
- LIMIT OF WORK
 - - - PROPERTY LINE
 - SITE WALL
 - FLOW LINE
 - GB GRADE BREAK
 - R—R—R RIDGE LINE
 - SAWCUT AND JOIN
 - 100 PROPOSED MAJOR CONTOUR
 - 102 PROPOSED MINOR CONTOUR
 - [Hatched Box] PROPOSED BUILDING (REFER TO ARCHITECTURAL PLANS FOR DETAIL)
 - [Diagonal Hatched Box] SOUTHERN CALIFORNIA EDISON EASEMENT
 - [Chevron Hatched Box] CHEVRON EASEMENT
 - [Vertical Hatched Box] PLANS ALL AMERICAN PIPELINE EASEMENT



MATCH LINE - SEE SHEET C1.31 FOR CONTINUATION



- PAVING CONSTRUCTION NOTES**
- (P01) CONCRETE CURB PER DETAIL 1, SHEET C5.00.
 - (P02) CONCRETE CURB AND GUTTER PER DETAIL 2, SHEET C5.00.
 - (P03) CONCRETE VALLEY GUTTER PER DETAIL 3, SHEET C5.00.
 - (P04) ASPHALT CONCRETE PAVEMENT PER DETAIL 4, SHEET C5.00.
 - (P05) CONCRETE PAVEMENT PER DETAIL 5, SHEET C5.00.
 - (P06) HEAVY TRUCK TRAFFIC ASPHALT CONCRETE PAVEMENT PER DETAIL 4, SHEET C5.00.
 - (P07) CONCRETE STAIRS PER DETAIL 7, SHEET C5.00.
 - (P08) SLOT CUT AND REPLACE ASPHALT CONCRETE PAVEMENT 6" OF PG-64-10 OVER 6" OF BASE WITH PG-64-10 TRACK COAT.
 - (P09) PERIMETER SHOTCRETE WALL BY CONTRACTOR.
 - (P10) HEAVY TRUCK CONCRETE PAVEMENT PER DETAIL 9, SHEET C5.00.
 - (P11) TRUNCATED DOMES PER DETAIL 10, SHEET C5.00.
 - (P12) PEDESTRIAN RAMP PER DETAIL 5, SHEET C5.00. SEE ARCHITECTURAL PLANS FOR HANDRAILS.
 - (P13) LIGHT POLE PER OTHERS AND LIGHT POLE FOOTING PER DETAIL 11, SHEET C5.00.
 - (P14) SITE RETAINING WALL PER DETAIL 12, SHEET C5.00.
 - (P15) DRIVEWAY APPROACH PER SPPWC 110-2.
 - (P16) CURB RAMP PER SPPWC 111-5. CASE AND TYPE PER PLAN.
 - (P17) 4" THICK PCC CONCRETE SIDEWALK PER SPPWC 112-2.
 - (P18) CURB AND GUTTER PER SPPWC 120-3.

- LEGEND**
- LIMIT OF WORK
 - - - - - PROPERTY LINE
 - ▬▬▬ RETAINING WALL
 - [Pattern] CONCRETE PAVING (REFER TO SHEET C5.00 FOR DETAILS)
 - [Pattern] ASPHALT - VEHICULAR PARKING (REFER TO SHEET C5.00 FOR DETAILS)
 - [Pattern] ASPHALT - HEAVY TRUCK (REFER TO SHEET C5.00 FOR DETAILS)
 - [Pattern] PLANTER AREA/LANDSCAPE (REFER TO LANDSCAPING PLANS FOR DETAILS)
 - [Pattern] PROPOSED BUILDING (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
 - [Pattern] SOUTHERN CALIFORNIA EDISON EASEMENT
 - [Pattern] CHEVRON EASEMENT
 - [Pattern] PLAINS ALL AMERICAN PIPELINE EASEMENT

NOTE TO CONTRACTOR/CONSTRUCTION SURVEYOR:
 CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR. CONSTRUCTION STAKING SURVEYOR SHALL BE RESPONSIBLE FOR COORDINATION OF THESE PLANS WITH SOURCE DRAWINGS PREPARED BY ARCHITECT, LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, MEP CONSULTANT AND ANY OTHER DISCIPLINE PRIOR TO START OF STAKING AND CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED.

CONFIDENTIAL TRAINING FACILITY
 2021 ROSECRANS AVE.
 EL SEGUNDO, CA 90245

Gensler
 500 South Figueroa Street
 Los Angeles, California 90071
 United States
 Tel: 213.327.3600
 Fax: 213.327.3601

kpff
 KPFF
 700 South Flower Street
 Suite 2100
 Los Angeles, CA 90017
 Tel: 213.418.0201

MAGNUSON KLEMMENZ & ASSOCIATES
 Magnuson Klemenz Associates
 600 Wilshire Blvd., Suite 1200
 Los Angeles, CA 90017
 Tel: 206.292.1200

WJHW
 WRIGHT, JOHNSON, HADSON & WILLIAMS, INC.
 3423 Midcourt Rd., Suite 124
 Carrollton, TX 75006
 Tel: 972.334.3700

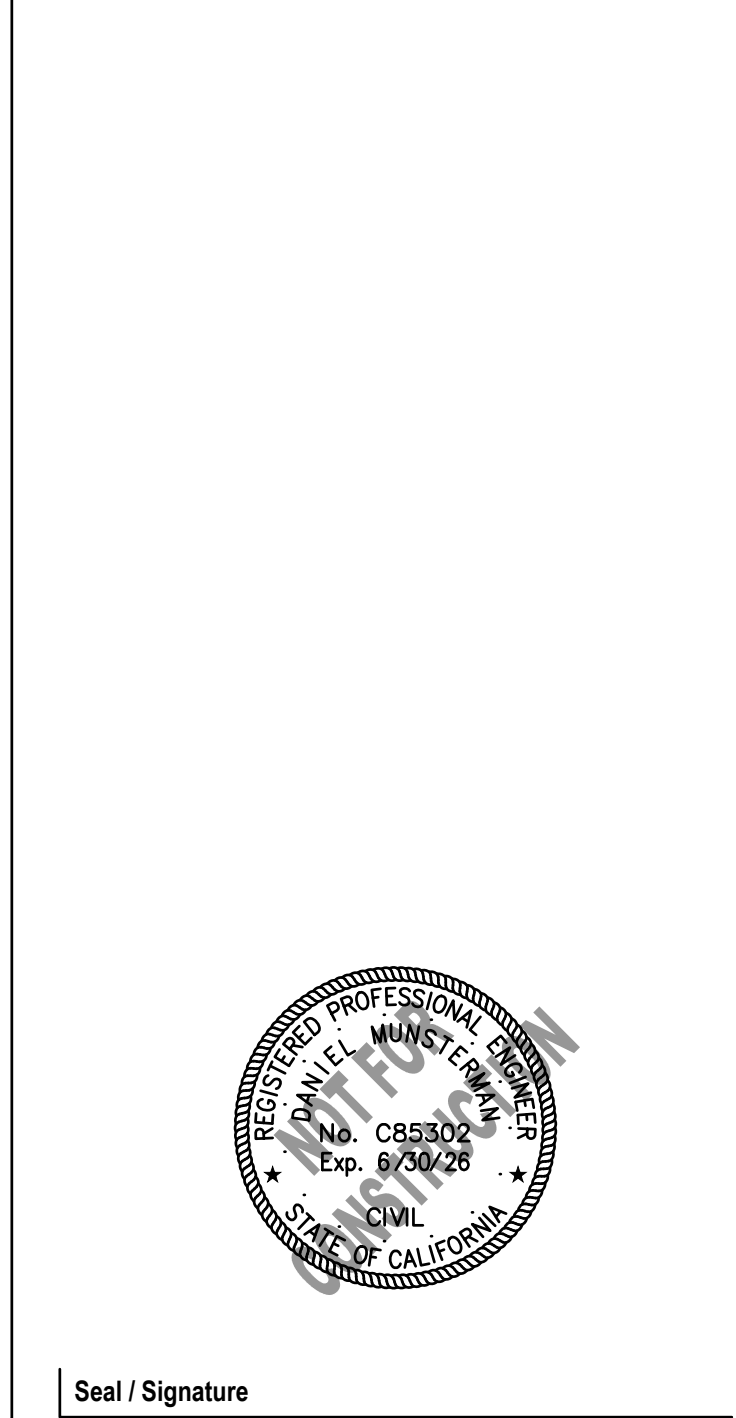
S2O
 S2O Consultants, Inc.
 14387 Finbury Drive
 Spring Hill, FL 34609
 Tel: 813.505.1312

AQUATIC
 Aquatic Group
 2205 Faraday Avenue
 Carlsbad, CA 92008
 Tel: 800.938.0542

BUEHLER
 Buehler
 444 S. Flower Street
 Suite 750
 Los Angeles, CA 90071
 Tel: 323.538.2363

blitz
 Blitz
 6537 Washington Blvd
 Culver City, CA 90232
 Tel: 310.345.8556

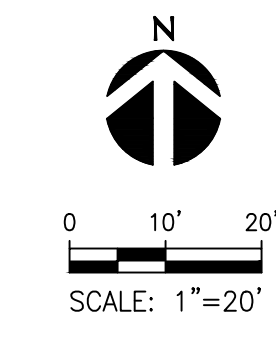
Date	Description
10/28/2025	ISSUE FOR PLAN CHECK



NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
 Project Number
2500096
 Description
PAVING PLAN

C1.50



ING FD. PROPERTY
 RECORD
 PER LLA, INST.
 NO. 20131816582

FD L&TAG STAMPED L.S.
 3200 PER P.W. NO. 2341
 0.13' WESTERLY ON A 7.61'
 PROD OF LOT CORNER

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff

KPFF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS

RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1900

**MAGNUSON
KLEINERTZ
ASSOCIATES**

Magnuson Kleimatic
Associates
1301 5th Ave #2200
Seattle, WA 98101
Tel: 206.292.1200

**me
engineers**

ME Engineers
600 Wilshire Blvd, Suite 1200
Los Angeles, CA 90017
Tel: 310.842.8700

WJHW.
A PNY COMPANY

Wrightson, Johnson, Haddon &
Williams, Inc.
3423 Midcourt Rd., Suite 124
Canton, TX 75008
Tel: 972.934.3700

**HOWE
ENGINEERS**

Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500

S2O

S2O Consultants, Inc.
14307 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

HLB

Horton Lees Brogden Lighting
Design
8580 Washington Blvd.
Culver City, CA 90232
Tel: 310.637.0529

AQUATIC
DESIGN GROUP

Aquatic Group
2225 Fantasy Avenue
Carlsbad, CA 92009
Tel: 800.938.0542

**Thornton
Tomasetti**
DESIGN GROUP

Thornton Tomasetti
707 Wilshire Blvd, Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUEHLER

Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363

blitz
LOS ANGELES

Blitz
837 Washington Blvd
Culver City, CA 90232
Tel: 310.345.8559

KEYNOTES LEGEND	
KEY	KEYNOTE TEXT
101	(N) RAMP PER CIVIL
102	(N) CURB PER CIVIL
103	(E) CURB TO KEEP IN PLACE
104	(N) ASPHALT DRIVEWAY PER CIVIL
105	(N) PARKING STRIPPING. SEE PARKING DRAWING
108	(N) RETAINING WALL WITH GUARDRAIL. SEE ARCH. CIVIL AND STRUCTURAL DRAWING
110	(E) PAVING TO REMAIN
112	(N) PLANTING MEDIANS
118	FENCE PER ARCH
122	(N) CROSSWALK PER CIVIL
123	(N) WALL PER ARCH

PAVING LEGEND	
KEY	DESCRIPTION
P-101A	CIP CONCRETE PAVING TYPE A
P-101B	CIP CONCRETE PAVING TYPE B
P-104	CIP CONCRETE STAIR
P-105	CIP CONCRETE RAMP

WALL LEGEND	
KEY	DESCRIPTION
W-101	CIP CONCRETE WALL W/ PLASTER FINISH
W-102B	GFRC PLANTER

RAILING LEGEND	
KEY	DESCRIPTION
R-101	CUSTOM HANDRAIL

FENCE LEGEND	
KEY	DESCRIPTION
F-101	CUSTOM FENCE

GATE LEGEND	
KEY	DESCRIPTION
G-101	VEHICULAR SLIDING GATE
G-102	PEDESTRIAN GATE
G-103	VEHICULAR SWING GATE

SITE FURNISHING LEGEND	
KEY	DESCRIPTION
SF-101	PREFAB POT TYPE A
SF-301	BIKE RACK

NOTE:
REFER TO L2.00 FOR HARDSCAPE SCHEDULE FOR FURTHER INFORMATION - TYPICAL FOR ALL LEGENDS.

Date	Description
05/23/2025	DD PROGRESS
08/05/2025	DESIGN DEVELOPMENT
09/30/2025	CONSTRUCTION DOCUMENT PROGRESS
10/28/2025	ISSUE FOR PLAN CHECK

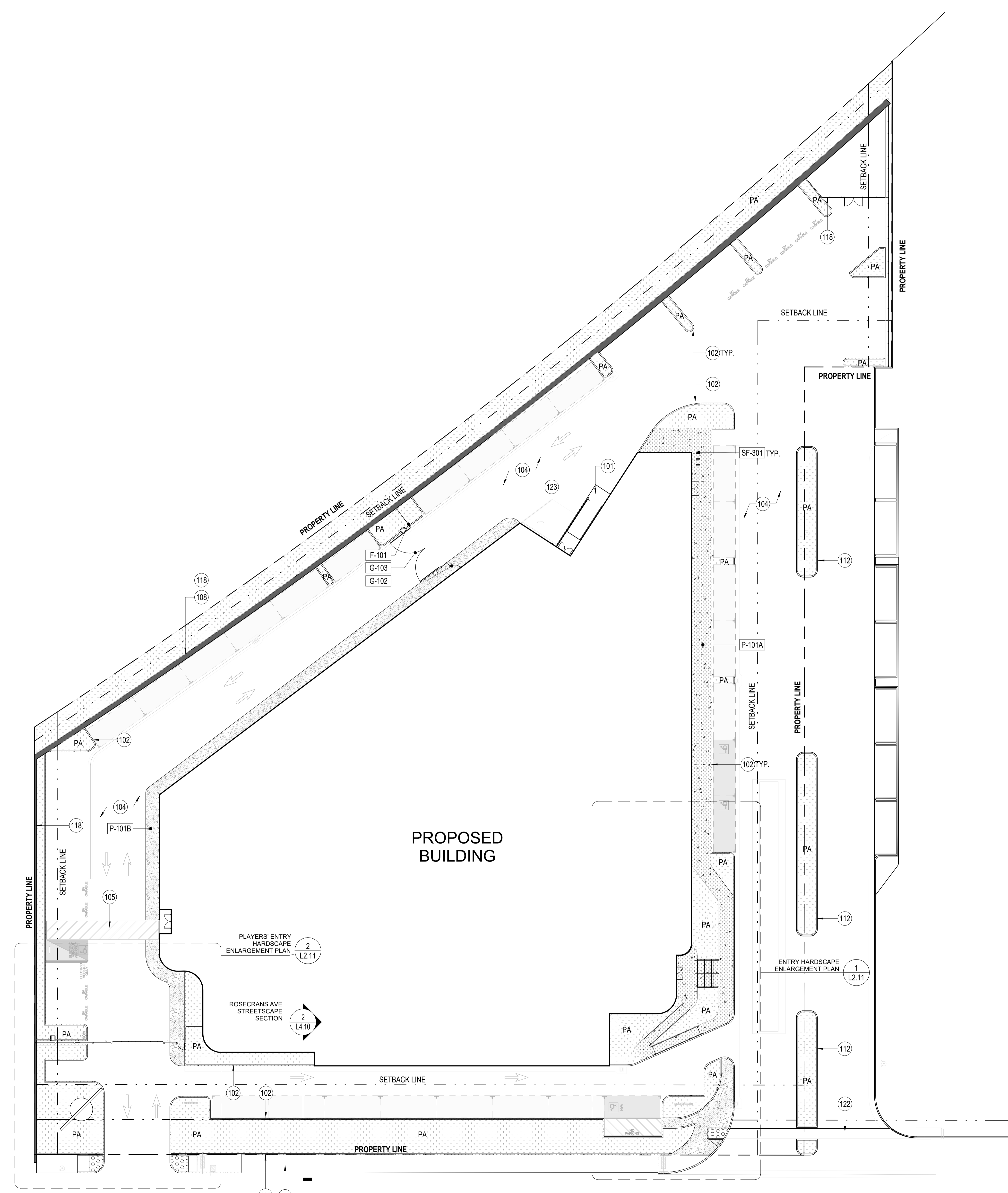
Seal / Signature

**NOT FOR
CONSTRUCTION**

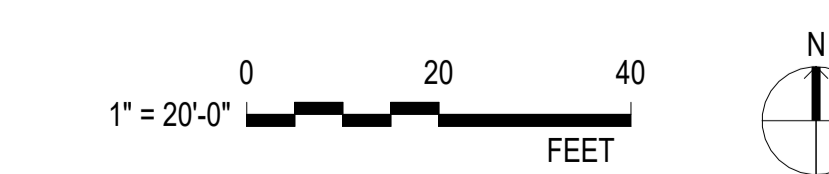
Project Name
**CONFIDENTIAL TRAINING
FACILITY**
Project Number
25042
Description
**GROUND FLOOR
HARDSCAPE PLAN**

Scale
1" = 20'-0"

L2.10



OVERALL HARDSCAPE PLAN
1
1" = 20'-0"



TRAINING FACILITY
EL SEGUNDO, CALIFORNIA

Gensler
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff
KPF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

MAGNUSON KLEINERTIC ASSOCIATES
Magnusson Klemencic Associates
1301 5th Ave #2200
Seattle, WA 98101
Tel: 206.292.1200

WJHW
A PNY COMPANY
Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd., Suite 124
Canton, TX 75008
Tel: 972.334.3700

S2O
S2O Consultants, Inc.
14307 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

Aquatic Group
2225 Faraday Avenue
Carlsbad, CA 92008
Tel: xxx.xxx.xxxx

BUEHLER
Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363

Thornton Tomasetti
Thornton Tomasetti
707 Wilshire Blvd., Suite 4450
Los Angeles, CA 90017
Tel: xxx.xxx.xxxx

Revision table with columns: Date, Description. Entry: 05/23/25 DD PROGRESS

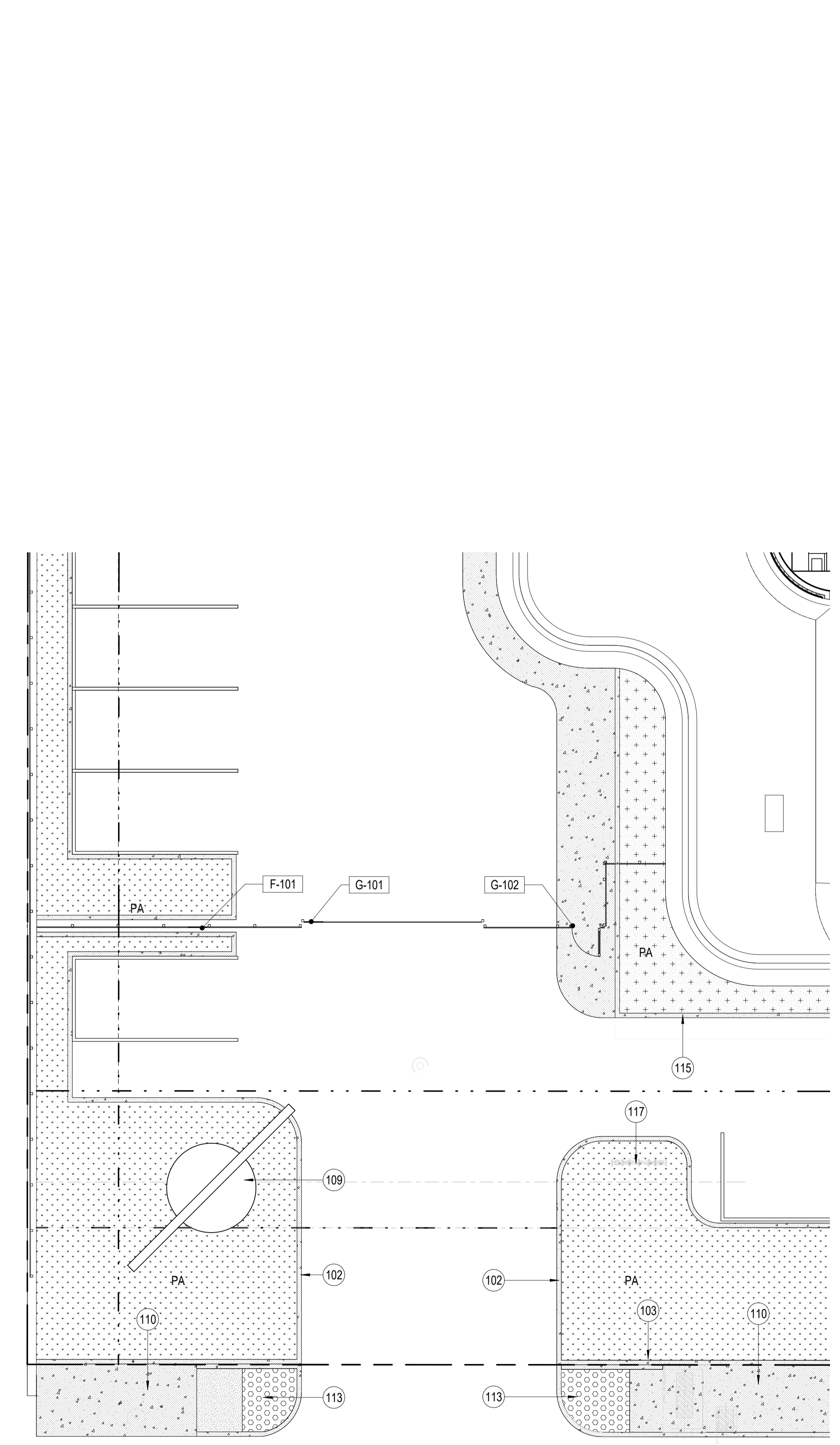
Seal / Signature

Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
25042
Description
GROUND FLOOR HARDSCAPE ENLARGEMENT PLAN
Scale
1/8" = 1'-0"

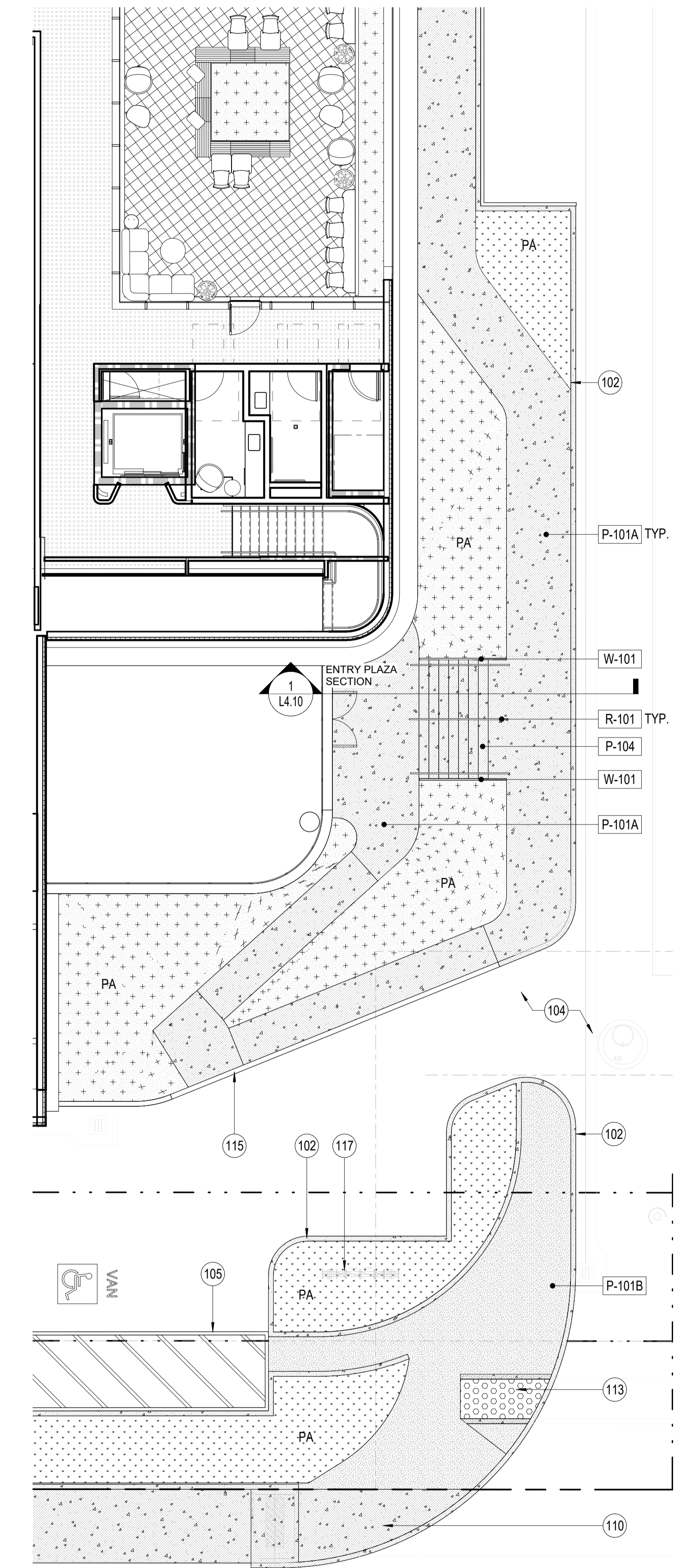
NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
25042
Description
GROUND FLOOR HARDSCAPE ENLARGEMENT PLAN
Scale
1/8" = 1'-0"

L2.11



HARDSCAPE ENLARGEMENT PLAN 2
1/8" = 1'-0"



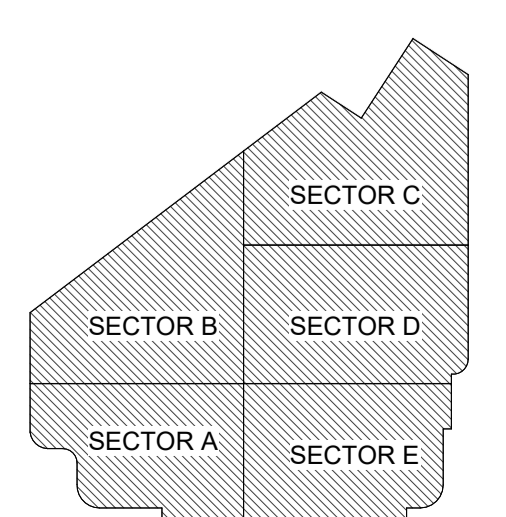
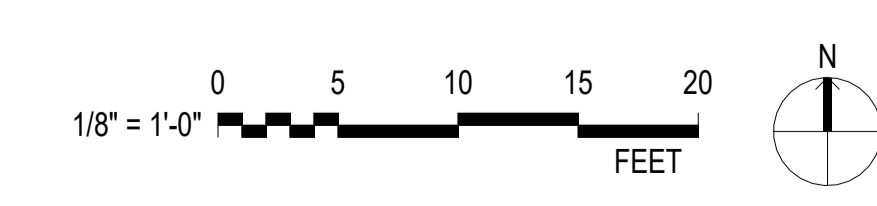
HARDSCAPE ENLARGEMENT PLAN 1
1/8" = 1'-0"

KEYNOTE table with columns: KEY, KEYNOTE TEXT. Rows 101-117.

PAVING LEGEND table with columns: KEY, DESCRIPTION. Rows P-101A to P-105.

WALL LEGEND table with columns: KEY, DESCRIPTION. Rows W-101, W-102.

RAILING LEGEND table with columns: KEY, DESCRIPTION. Row R-101.



Gensler
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff
KFFF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS
RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1900

MAGNUSON KLEINERTIC ASSOCIATES
Magnuson Klemencic Associates
1301 5th Ave #2200
Seattle, WA 98101
Tel: 206.292.1200

me engineers
ME Engineers
600 Wishire Blvd., Suite 1200
Los Angeles, CA 90017
Tel: 310.842.8700

WJHW
A PMA COMPANY
Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd., Suite 124
Canton, TX 75008
Tel: 972.934.3700

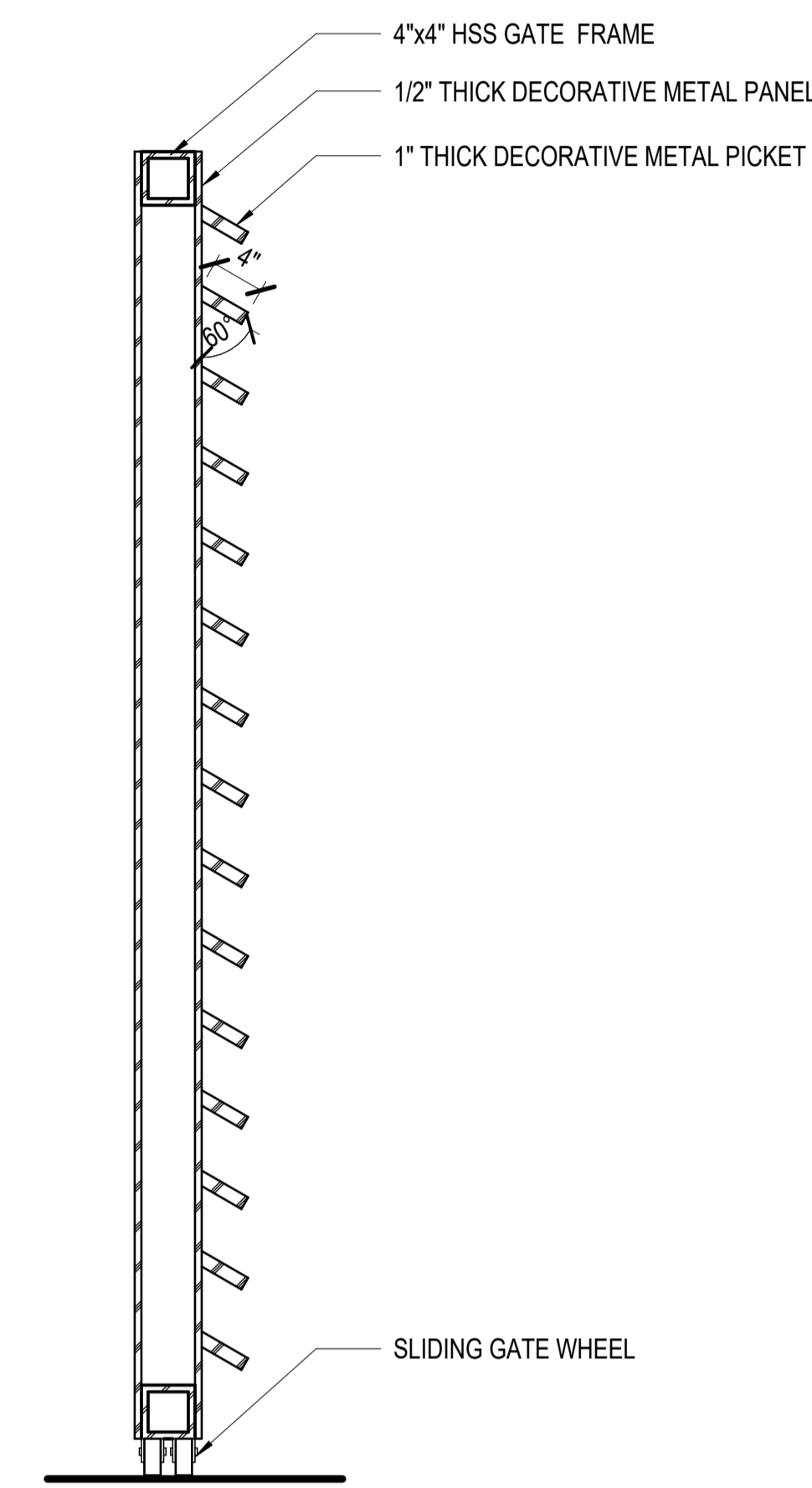
S2O
S2O Consultants, Inc.
14307 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

HLB
Horton Lees Brogden Lighting Design
8580 Washington Blvd.
Culver City, CA 90232
Tel: xxx.xxx.xxxx

Thornton Tomasetti
Thornton Tomasetti
707 Wishire Blvd., Suite 4450
Los Angeles, CA 90017
Tel: xxx.xxx.xxxx

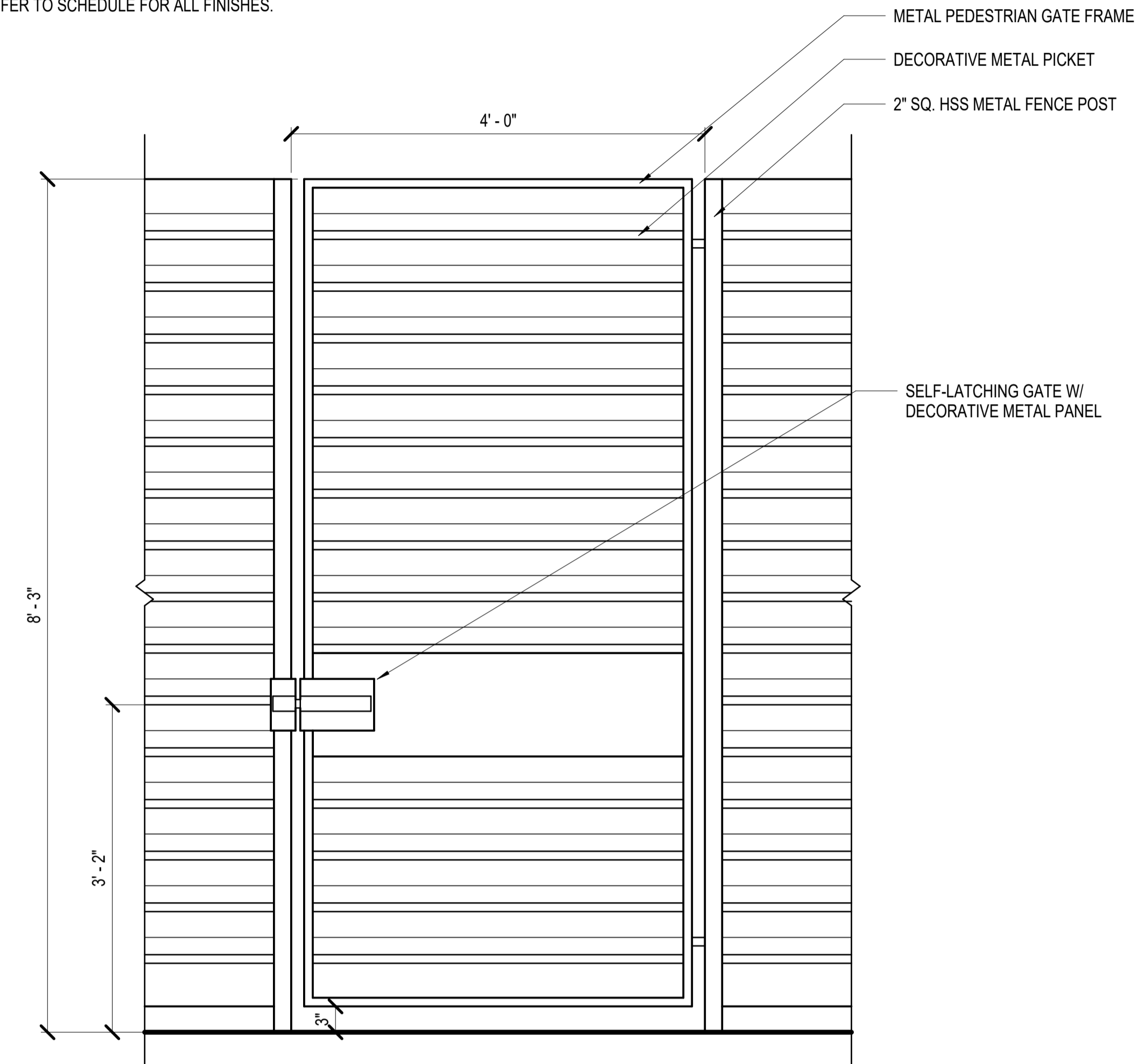
BUEHLER
Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363

NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR FRAME ANCHORING AND ATTACHMENT.
2. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS AND REINFORCEMENT.
3. REFER TO SCHEDULE FOR ALL FINISHES.



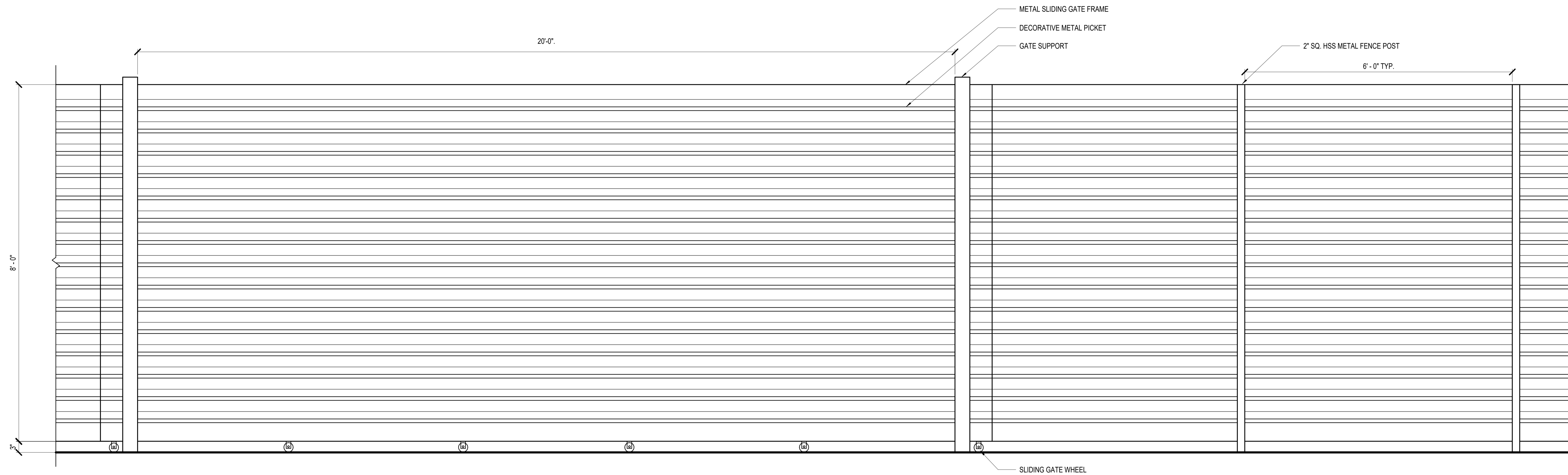
SLIDING GATES SECTION 3
1" = 1'-0"

NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR FRAME ANCHORING AND ATTACHMENT.
2. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS AND REINFORCEMENT.
3. REFER TO SCHEDULE FOR ALL FINISHES.

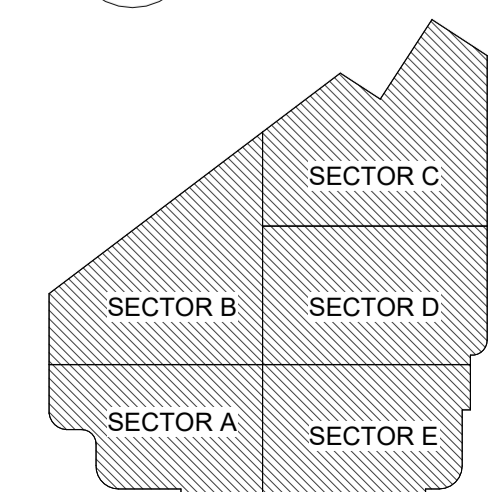


PEDESTRIAN GATES ELEVATION 2
1" = 1'-0"

NOTES:
1. REFER TO STRUCTURAL DRAWINGS FOR FRAME ANCHORING AND ATTACHMENT.
2. REFER TO STRUCTURAL DRAWINGS FOR FOOTINGS AND REINFORCEMENT.
3. REFER TO SCHEDULE FOR ALL FINISHES.



FENCE AND SLIDING GATES ELEVATION 1
1" = 1'-0"



Date	Description
05/23/25	DD PROGRESS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
25042
Description
FENCES AND GATES DETAILS

Scale
1" = 1'-0"

L5.40

WATER AUDIT AND MAINTENANCE SCHEDULE

THE CONTRACTOR WILL CONDUCT AN IRRIGATION AUDIT USING A CERTIFIED IRRIGATION AUDITOR. AFTER THE FINAL FIELD OBSERVATION HAS BEEN COMPLETED AND ALL IRRIGATION COMPONENTS ARE INSTALLED IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND THE IRRIGATION SYSTEM IS ACCEPTED BY THE PROJECT ARCHITECT FOR MAINTENANCE.

THE IRRIGATION AUDIT WILL BE CONDUCTED IN ACCORDANCE WITH THE FOLLOWING SCHEDULE:

- PLACE FLAGS AT EACH HEAD IN THE ZONE
- MEASURE SPACING AND MARK MID POINTS BETWEEN HEADS
- PLACE WATER MEASURING RECEPTACLES
- TAKE READINGS OF WATER LEVEL IN RECEPTACLES AND RECORD RESULTS
- MEASURE HEAD PRESSURE IN EACH ZONE AND RECORD RESULTS
- AFTER COMPLETING ZONE ADVANCE TO NEXT ZONE AND REPEAT PROCEDURE
- SUBMIT THE RESULTS OF THE AUDIT TO THE PROJECT ARCHITECT.

THE IRRIGATION MAINTENANCE SCHEDULE TASKS LISTED BELOW ARE INTENDED AS MINIMUM STANDARDS AND MORE FREQUENT ATTENTION MAY BE REQUIRED DEPENDING ON THE PARTICULAR SITE CONDITIONS.

MAINTENANCE TASK

- CONTROLLER CABINET** - OPEN CABINET AND CLEAN OUT DEBRIS AND REPLACE BATTERY AS NECESSARY. CHECK WIRING AND REPAIR AS NEEDED AND CHECK CLOCK AND PRESSURE AS NECESSARY. FREQUENCY: QUARTERLY
- IRRIGATION SCHEDULE** - ADJUST SCHEDULE FOR SEASONAL VARIATIONS AND OTHER CONDITIONS WHICH MAY AFFECT THE AMOUNT OF WATER NEEDED TO MAINTAIN PLANT HEALTH/ADJUST AS NEEDED. FREQUENCY: MONTHLY
- POC - VISUALLY INSPECT COMPONENTS FOR LEAKS, PRESSURE SETTINGS, SETTLEMENT OR OTHER DAMAGE AFFECTING THE OPERATION OF A COMPONENT. REPAIR AS NEEDED.** FREQUENCY: QUARTERLY
- REMOTE CONTROL VALVES, ISOLATION VALVES AND QUICK COUPLER VALVES** - VISUALLY INSPECT FOR LEAKS, SETTLEMENT, WIRE CONNECTIONS AND PRESSURE SETTINGS. REPAIR AS NEEDED. FREQUENCY: QUARTERLY
- MAINLINE & LATERALS** - VISUALLY INSPECT FOR LEAKS OR SETTLEMENT OF TRENCH. FREQUENCY: QUARTERLY
- SPRINKLERS** - VISUALLY CHECK FOR ANY BROKEN MISALIGNED OR CLOGGED HEADS. HEADS WITH INCORRECT ARC, INADEQUATE COVERAGE OR OVERSPRAY AND LOW HEAD DRAINAGE. REPAIR AS NEEDED. FREQUENCY: WEEKLY
- FILTERS AND STRAINERS** - VISUALLY CHECK FOR LEAKS, BROKEN FITTING, CLEAN AND FLUSH SCREENS.

AUDIT SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LATEST LANDSCAPE IRRIGATION AUDITOR HANDBOOK. THE LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AND THE AUDIT SCHEDULE SHALL BE CONDUCTED AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.

MAINTENANCE SCHEDULES - A REGULAR MAINTENANCE SCHEDULE SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

LANDSCAPE SHALL BE MAINTAINED TO ENSURE WATER EFFICIENCY. A REGULAR MAINTENANCE SCHEDULE SHALL INCLUDE, BUT NOT BE LIMITED TO, CHECKING, ADJUSTING, AND REPAIRING IRRIGATION EQUIPMENT, RESETTING THE AUTOMATIC CONTROLLER, AERATING AND DETACHING TURF AREAS, REPLENISHING MULCH, FERTILIZING, PRUNING, AND WEEDING IN ALL LANDSCAPE AREAS.

WHenever possible, repair of irrigation equipment shall be done with the originally specified materials or their equivalents.

A LANDSCAPE IRRIGATION AUDIT SCHEDULE AS REQUIRED IN CHAPTER 20.09 OF TITLE 20 MAY BE RECOMMENDED. THE MAXIMUM PERIOD BETWEEN AUDITS SHALL BE FIVE YEARS.

LANDSCAPE IRRIGATION AUDIT SCHEDULES - A SCHEDULE OF LANDSCAPE IRRIGATION AUDITS OF AT LEAST EVERY FIVE YEARS MUST BE ESTABLISHED FOR ALL BUT SINGLE-FAMILY RESIDENCES, AND OTHER PROJECTS WITH LANDSCAPE AREA LESS THAN 1 ACRE (0.405 HA), AS REQUIRED IN CHAPTER 20.09 OF TITLE 20 UTILITY CODES. AN AUDIT SATISFYING THE FOLLOWING CONDITIONS SHALL BE SUBMITTED TO THE COUNTY AS PART OF THE LANDSCAPE DOCUMENTATION PACKAGE.

AT A MINIMUM, AUDITS SHALL BE IN ACCORDANCE WITH THE LATEST STATE OF CALIFORNIA LANDSCAPE WATER MANAGEMENT PROGRAM AS DESCRIBED IN THE LANDSCAPE IRRIGATION AUDITOR HANDBOOK, PREPARED FOR THE CALIFORNIA DEPARTMENT OF WATER RESOURCES, WATER CONSERVATION OFFICE. THE ENTIRE DOCUMENT, WHICH IS HEREBY INCORPORATED BY REFERENCE.

THE SCHEDULE SHALL PROVIDE FOR LANDSCAPE IRRIGATION AUDITS TO BE CONDUCTED BY A QUALIFIED INDIVIDUAL AS DETERMINED BY THE DIRECTOR AT LEAST ONCE EVERY FIVE YEARS IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 20, DIVISION 1 OF THE LOS ANGELES COUNTY CODE.

CONTRACTOR TO PROTECT AND PRESERVE IN PLACE ALL EXISTING SURVEY MONUMENTS. ANY MONUMENTS DISTURBED SHALL BE RESET BY A LICENSED LAND SURVEYOR AND THE APPROPRIATE CORNER RECORD MUST BE FILED WITH THE COUNTY OF LOS ANGELES.

IRRIGATION NOTES

- ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
- THIS DESIGN IS DIAGRAMMATIC. ALL EQUIPMENT SHOWN IN PAVED AREAS IS FOR DESIGN CLARITY ONLY AND IS TO BE INSTALLED WITHIN PLANTING AREAS.
- THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
- INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
- ACTUAL LOCATION FOR THE INSTALLATION OF THE BACKFLOW PREVENTER AND THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNERS AUTHORIZED REPRESENTATIVE.
- CONTRACTOR IS TO PROVIDE AN ADDITIONAL PILOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS.
- ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVEING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING.
- ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED IN SHRUB OR GROUND COVER AREAS WHERE POSSIBLE. ALL QUICK COUPLER AND REMOTE CONTROL VALVES TO BE INSTALLED AS SHOWN ON THE INSTALLATION DETAILS. INSTALL ALL QUICK COUPLER AND REMOTE CONTROL VALVES WITHIN 18" OF HARDSCAPE.
- ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF DIFFUSER PIN OR ADJUSTMENT SCREEN, REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIUS UNITS AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ARC UNITS.
- CONTRACTOR SHALL INSTALL ADDITIONAL CHECK VALVES TO HEADS AND LATERALS AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.
- THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS. SWEENEY AND ASSOCIATES RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.
- THE CONTRACTOR IS REQUIRED TO CONTACT DIGALERT OR 811 A MINIMUM OF TWO (2) DAYS PRIOR TO THE START OF ANY EXCAVATIONS ON THE PROJECT AND SPECIFICALLY PRIOR TO THE INSTALLATION OF ANY GROUNDING RODS. DIAL 811 OR LOG ONTO WWW.DIGALERT.ORG TO START A PROJECT TICKET. DIGALERT AND 811 IS A FREE SERVICE PROVIDED TO THE PROJECT. FAILURE TO CONTACT AND HAVE THE EXISTING UTILITIES IDENTIFIED, LOCATED AND MARKED SHALL MAKE THE CONTRACTOR SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.

IRRIGATION MATERIAL LEGEND

SYMBOL	MANUFACTURER	MODEL NO. / DESCRIPTION	FLOW RATE (GPM)	PSI	RADIUS	P.R. (TRI.)	DETAIL
	RAIN BIRD	RD-12-S-P45-F 12" POP-UP SHRUB HEAD WITH R-VAN14 (Q/T/H) / R-VAN14-360 NOZZLES	32, 42, 53, 1.27	45	14 FT	0.70 IN./HR.	A
	RAIN BIRD	RD-12-S-P45-F 12" POP-UP SHRUB HEAD WITH R-VAN18 (Q/T/H) / R-VAN18-360 NOZZLES	50, 62, 1.01, 1.85	45	18 FT	0.70 IN./HR.	A
	RAIN BIRD	RD-12-S-P45-F 12" POP-UP SHRUB HEAD WITH R-VAN24 (Q/T/H) / R-VAN24-360 NOZZLES	84, 1.16, 1.68, 3.48	45	24 FT	0.70 IN./HR.	A
	RAIN BIRD	RD-06-S-P30-F 6" POP-UP BUBBLER HEAD WITH A HUNTER MS8N-500 STREAM BUBBLER NOZZLE EACH SYMBOL REPRESENTS TWO (2) BUBBLERS TO PROVIDE A TOTAL OF TWO (2) BUBBLERS PER TREE. PLACE THE BUBBLER HEADS SIX (6) INCHES FROM THE ROOT BALL OF THE TREE AND ON OPPOSITE SIDES OF TREE. ADJUST BUBBLER STREAMS TO WET THE ROOT BALL AND ADJACENT AREAS WITHOUT HITTING THE TRUNK OF THE TREE.	50 (1.0 TOTAL)	30	1 FT	1.00 IN./HR.	A,B
	NETAFIM	TLCHVRS-12 SUBSURFACE DRIP TUBING (BROWN EXTERIOR COLOR WITH A COPPER OXIDE STRIPE) WITH 0.53 GPH. PRESSURE COMPENSATING EMITTERS INTERNALLY INSTALLED IN THE DRIP TUBING AT 12" O.C. SPACING. DRIP TUBING SHALL BE EQUIPPED WITH A CONTINUOUS EXTERIOR CLIP/RUN STRIPE, COPPER OXIDE INFUSED EMITTERS AND A PHYSICAL BARRIER TO PREVENT ROOT INTRUSION INTO THE DRIP EMITTER. DRIP EMITTERS SHALL BE CONTINUOUS FLUSHING TYPE AND EQUIPPED WITH A CHECK VALVE AND ANTI-SIPHON FEATURE. DRIP TUBING SHALL BE INSTALLED 4" BELOW THE FINISHED SOIL GRADE, NOT COUNTING MULCH, AND IN PARALLEL ROWS IN A MAXIMUM OF 18" ON CENTER. THE PERIMETER ROW OF DRIP TUBING SHALL BE INSTALLED A MAXIMUM OF 4" FROM THE EDGE OF ANY HARDSCAPE OR TURF EDGE. ALL SUBSEQUENT INTERIOR ROWS SHALL BE ADJUSTED TO PROVIDE AN EVEN SPACING ACROSS THE PLANTER WITHOUT EXCEEDING 18" MAXIMUM SPACING. INSTALL 1/2" PVC COATED GALVANIZED TUBING STAKES AT A MAXIMUM OF FIVE (5) FEET ON CENTER ALONG THE LENGTH OF THE TUBING. TUBING STAKES SHALL BE MODEL #GOTS40900 AS MANUFACTURED BY GPH (IRRIGATION PRODUCTS) (866) 582-9684. THE LINES SHOWN ON THE PLANS REPRESENT THE APPROXIMATE DIRECTION AND SPACING OF THE DRIP TUBING ROWS. SEE SPACING REQUIREMENTS ABOVE AND IN DETAILS.	0.53 GPH / EMITTER	30	N/A	0.70 IN./HR.	C,D,E,F
	NETAFIM	CONNECTION BETWEEN HOXVRS-CS DRIP TUBING AND PVC SUPPLY AND DISCHARGE HEADERS SHALL BE MADE USING TL DRIP LINE BARBED FITTINGS, SCH. 40 PVC THREADED FITTINGS, SCH. 80 NIPPLES AND FLEXIBLE NIPPLES. WHEN THE CONNECTION IS AT THE END RUN OF THE TUBING USE A 1/2" SCH. 40 PVC THREADED 90° ELBOW. A 1/2" X LENGTH AS REQUIRED SCH. 80 PVC THREADED NIPPLE. A 1/2" X 6" MPT X FPT FLEXIBLE NIPPLE, AND A 1/2" O.D. 17mm BARB X 1/2" MPT ADAPTER FITTING. WHEN THE CONNECTION IS IN THE MIDDLE OF THE TUBING RUN USE A 1/2" SCH. 40 PVC THREADED TEE FITTING. A 1/2" X LENGTH AS REQUIRED SCH. 80 PVC THREADED NIPPLE, A 1/2" X 6" MPT X FPT FLEXIBLE NIPPLE, AND TWO (2) 1/2" O.D. 17mm BARB X 1/2" MPT ADAPTERS. ALL END RUNS OF TUBING SHALL BE CONNECTED WITH A PVC DISCHARGE HEADER. FLEXIBLE NIPPLES SHALL BE MODEL #P07N50000 AS MANUFACTURED BY GPH (IRRIGATION PRODUCTS) (866) 582-9684.					C,D,E,F
	NETAFIM	TL SERIES 17mm BARBED FITTINGS FOR CONNECTIONS BETWEEN DRIP TUBING (TUBING-TO-TUBING ONLY). NO HEATING OF TUBING SHALL BE ALLOWED.					C,D,E,F
	AS APPROVED	PVC SUPPLY AND DISCHARGE HEADERS SHALL BE PVC LATERAL LINE PIPE (AS SHOWN BELOW).					C,D,E,F
	GPH IRRIGATION	GDPN DRIP FLUSH / INDICATOR NOZZLE. ORANGE IN COLOR. INSTALLED ONTO A HUNTER ECO-ID-12 1/2" POP-UP INDICATOR HEAD. THE FLUSH NOZZLE SHALL BE CLOSED FOR NORMAL OPERATION OF THE DRIP SYSTEM.					E,F,G
	P.O.C.	1 1/2" POTABLE (DOMESTIC) DEDICATED IRRIGATION WATER METER WITH 1 1/2" SERVICE LINE. VERIFY SIZE, LOCATION AND PRESSURE IN FIELD.					N/A
	WILKINS	95XSLs, 1 1/2" RP BACK FLOW PREVENTION DEVICE WITH WYE STRAINER, INSTALL WITH BRASS NIPPLES, UNIONS AND FITTINGS, SIZED PER DEVICE.					H
	WILKINS	500X-HLR, 1 1/2" BRONZE, HIGH LOW RANGE (10-125 PSI) PRESSURE REGULATOR, WITH SINGLE UNION FPT X FPT CONNECTIONS, INSTALLED PRESSURE REGULATOR ON THE DOWNSTREAM SIDE OF THE BACK FLOW DEVICE. SET WATER PRESSURE TO 10 PSI ABOVE DESIGN PRESSURE SHOWN ON POC NOTES.					H
	V.I.T.	STRONG BOX SB8C-45SS "SMOOTH TOUCH" STAINLESS STEEL BACK FLOW DEVICE ENCLOSURE.					H
	BUCKNER	3300-100 1" NORMALLY OPEN, BRASS MASTER CONTROL VALVE. WIRE MOV TO THE CONTROLLER USING A SEPARATE PILOT AND GROUND WIRE.					I
	HUNTER	300-PES-PR65 PRESSURE REGULATING, PLASTIC REMOTE CONTROL VALVE (RCV), SIZE AS SHOWN (1" SIZE). SET PR65-D PRESSURE REGULATOR TO PROVIDE THE OPERATING PRESSURE OF THE SPRINKLER / BUBBLER HEAD AT THE HIGHEST OR FARTHEST HEAD ON THE CONTROL VALVE ZONE (MEASURE PSI AT HEAD). INSTALL THE RCV INSIDE A STANDARD RECTANGULAR VALVE BOX.					J
	HUNTER	FC1-100, 1" FLOW SENSOR, WIRE TO CONTROLLER USING TWO (2) #14UF AWG WIRES INSIDE A 1" SCH. 40 PVC (GRAY) ELECTRICAL CONDUIT. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND INSIDE A STANDARD RECTANGULAR VALVE BOX.					J
	LASCO	V17101-NC 1 1/2" SLO-CLOSE SCH. 80 PVC, TRUE-UNION BALL VALVE WITH SOLVENT WELD SOCKET CONNECTIONS, LINE SIZE PER MAINLINE. INSTALL INSIDE A 10" ROUND VALVE BOX.					K
	RAIN BIRD	330LR-34F QUICK COUPLER VALVE WITH LOCKING WYFF, COVER AND A LASCO 6131-212 SWING JOINT. INSTALL INSIDE A 10" ROUND VALVE BOX.					L,O
	RAIN BIRD	100-PES-PR65 PRESSURE REGULATING, PLASTIC REMOTE CONTROL VALVE (RCV), SIZE AS SHOWN (1" SIZE). SET PR65-D PRESSURE REGULATOR TO PROVIDE THE OPERATING PRESSURE OF THE SPRINKLER / BUBBLER HEAD AT THE HIGHEST OR FARTHEST HEAD ON THE CONTROL VALVE ZONE (MEASURE PSI AT HEAD). INSTALL THE RCV INSIDE A STANDARD RECTANGULAR VALVE BOX.					M,N
	RAIN BIRD	PLASTIC DRIP REMOTE CONTROL VALVE ASSEMBLY, SIZE AS SHOWN (1" AND 1 1/2" SIZES). COMPLETE WITH PLASTIC CONTROL VALVE, DRIP FILTER AND STATION ETHERNET CONNECTED CONTROLLER. INSTALL CONTROLLER INSIDE A STAINLESS STEEL ENCLOSURE. SEE BELOW FOR TYPE.					M,O
	LASCO	FOR 1" DRIP ZONES: 100-PESB VALVE AND A PRB-QKQHK-100 PRESSURE REGULATING, 200 MESH BASKET FILTER, IN A STANDARD RECTANGULAR BOX.					O
	LASCO	ULTRA-ZONE SCH. 80 PVC MANIFOLD ASSEMBLIES SHALL BE USED TO INSTALL MULTIPLE 1" SIZED REMOTE CONTROL VALVES AND DRIP REMOTE CONTROL VALVES INSIDE A SINGLE STANDARD RECTANGULAR VALVE BOX. USE ALL COMPONENTS DESCRIBED IN THE DETAIL TO INSTALL THE VALVE ASSEMBLY.					O
	EXISTING	EXISTING RAIN BIRD IRRIGATION REMOTE CONTROL VALVES, PROTECT IN PLACE.					N/A
	HUNTER	IC2-800-SBK1T 8-STATION IC2C22 CONTROLLER WITH TWO (2) ICM-800 8-STATION EXPANSION MODULES AND A LANKT MODULE TO CREATE AN 24 STATION ETHERNET CONNECTED CONTROLLER. INSTALL CONTROLLER INSIDE A STAINLESS STEEL ENCLOSURE. SEE BELOW FOR TYPE.					P
	V.I.T.	SB-18SS STRONGBOX STAINLESS STEEL TOP-ENTRY CONTROLLER ENCLOSURE WITH CSA SUB-ASSEMBLY, OPT-HUN-CC2 ADAPTER, ROVRSS AND QP-16 "QUICK PAD".					P
	PAIGE ELECTRIC	THE CONTROLLER SHALL BE GROUNDED USING A #182000 5/8" X 8 FOOT COPPER CLAD GROUND ROD, A #182005 CAST BRONZE ROD CLAMP AND THE REQUIRED LENGTH OF #8AWG BARE, SINGLE STRAND COPPER GROUND WIRE. INSTALL INSIDE A 10" ROUND VALVE BOX.					Q
	HUNTER	RAIN-CLICK WIRED RAIN SENSOR, MOUNT IN ROVRSS ENCLOSURE ON THE SIDE OF THE CONTROLLER ENCLOSURE, WIRE TO THE CONTROLLER.					P
	N/A	120 VOLT ELECTRICAL POWER FOR CONTROLLER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD.					N/A
	AS APPROVED	PVC PIPE 3/4" - 1 1/2" SCH. 40, SOLVENT WELD WITH SCH. 40 PVC FITTINGS, AS LATERAL LINES INSTALLED 12" BELOW FINISHED GRADE.					R
	AS APPROVED	PVC PIPE 2" CL. 315, SOLVENT WELD WITH SCH. 80 PVC FITTINGS, AS MAINLINES INSTALLED 18" BELOW FINISHED GRADE.					R
	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING, 2 TIMES THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED (2" MINIMUM SIZE) INSTALL ALL PIPE AND WIRE UNDER PAVING, HARDSCAPE, ETC. (OR AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE) INSIDE SLEEVES. SLEEVES UNDER PEDESTRIAN PAVING SHALL BE INSTALLED 24" BELOW FINISHED GRADE. SLEEVES UNDER VEHICULAR PAVING SHALL BE INSTALLED 36" BELOW FINISHED GRADE.					S
	LASCO	ALL FITTINGS USED WITH SOLVENT WELD MAINLINE PIPE SHALL BE SCH. 80 PVC FITTINGS, GRAY IN COLOR, AND SIZED TO MATCH THE MAINLINE PIPE. ALL FITTINGS USED WITH SOLVENT WELD LATERAL LINE PIPE SHALL BE SCH. 40 PVC, WHITE IN COLOR, AND SIZED TO MATCH THE LATERAL LINE PIPE. ALL THREADED PVC NIPPLES SHALL BE SCH. 80 PVC PIPE, DARK GRAY IN COLOR, WITH MOLDED THREADS.					N/A
	WELD-ON	ALL SOLVENT WELD CONNECTIONS FOR BOTH MAINLINE AND LATERAL LINE SHALL BE MADE USING THE TWO-STEP PROCESS OF PRIMER AND SOLVENT CEMENT. PRIMER SHALL BE P-65 LOW VOC "PURPLE PRIMER". SOLVENT CEMENT SHALL BE T-05 LOW VOC, GRAY COLORED "MEDIUM BODIED" CEMENT. USE DAUBERS SIZED AT LEAST ONE-HALF THE SIZE OF THE LARGEST PIPE BEING JOINED. ALL SOLVENT CEMENTED JOINTS SHALL BE MADE PER THE PIPE AND FITTING MANUFACTURER'S RECOMMENDATIONS.					N/A
	AS APPROVED	TYPE "K" COPPER PIPING ROUTED BETWEEN PLANTERS, AND THROUGH BUILDING AND GARAGES. COPPER PIPING SHALL BE DESIGNED BY THE PLUMBING ENGINEER AND BE SHOWN ON THE PLUMBING PLANS. COPPER PIPING SHALL BE INSTALLED BY THE PLUMBER. COPPER PIPING SHOWN IS FOR REFERENCE ONLY. VERIFY LOCATION, SIZE AND STUB-OUTS OF COPPER PIPING IN THE FIELD PRIOR TO STARTING WORK.					N/A
	AS APPROVED	CONNECTION POINT BETWEEN COPPER PIPING (PROVIDED BY PLUMBER) AND PVC IRRIGATION PIPING. COPPER PIPE STUB-OUT SHALL HAVE A LINE SIZED SWEAT X FPT COPPER ADAPTER PROVIDED FOR CONNECTION TO THE IRRIGATION PIPING. USE A LINE SIZED X 6" SCH. 80 T.O.E. PVC NIPPLE AND A LINE SIZED PVC COUPLING FOR THE CONNECTION. VERIFY LOCATION, SIZE AND STUB-OUTS OF COPPER PIPING IN THE FIELD PRIOR TO STARTING WORK.					N/A
	AS APPROVED	1" SCH. 40 PVC, GRAY ELECTRICAL CONDUIT FOR FLOW SENSOR / MASTER VALVE WIRES. PROVIDE PULL BOX AT A MAXIMUM OF 200 FEET ON CENTER FOR A 3 FOOT WIRE LOOP OR ANY SPLICES. INSTALL INSIDE A STANDARD RECTANGULAR VALVE BOX.					N/A
	PAIGE ELECTRIC	P#78D POLYETHYLENE INSULATED, SOLID COPPER CONDUCTOR IRRIGATION CONTROL WIRE, #14UF AWG DIRECT BURIAL (U.L. APPROVED). PILOT WIRES SHALL BE RED IN COLOR, COMMON GROUND WIRE SHALL BE WHITE IN COLOR, SPARE WIRES SHALL BE YELLOW IN COLOR. THE CONTRACTOR SHALL ROUTE TWO (2) SPARE CONTROL WIRES (YELLOW) FROM THE CONTROLLER ALONG THE MAINLINE IN ALL DIRECTIONS AWAY FROM THE CONTROLLER. LOOP SPARE WIRES UP AND INTO EACH VALVE BOX ALONG THE MAINLINE, PROVIDING A 3 FOOT MINIMUM LOOP.					R,S,T
	GPH IRRIGATION	GD8R6V DIRECT BURIAL, 100% SILICONE GEL, WATER-PROOF WIRE CONNECTORS FOR USE ON ALL WIRE SPLICES AND CONNECTIONS.					T
	NDS (K.B.I.)	K2C-XXX-S SPRING CHECK VALVE, LATERAL LINE SIZE. INSTALL ONE (1) ON THE DOWNSTREAM SIDE OF EACH RCV WHEN THE RCV IS LOWER THAN THE SPRINKLERS, BUBBLERS OR DRIP EMITTERS. INSTALL WITHIN SPRINKLER / BUBBLER / DRIP ZONES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.					N/A
	NDS (K.B.I.)	KC-XXX-S SPRING CHECK VALVE, LATERAL LINE SIZE. INSTALL ONE (1) ON THE DOWNSTREAM SIDE OF EACH RCV WHEN THE RCV IS HIGHER THAN THE SPRINKLERS, BUBBLERS OR DRIP EMITTERS. INSTALL WITHIN SPRINKLER / BUBBLER / DRIP ZONES AS REQUIRED TO PREVENT LOW HEAD DRAINAGE.					N/A
	RAIN BIRD	ALL VALVE BOXES SHALL BE VB SERIES, PLASTIC TYPE WITH OVERLAPPING LIDS. VALVE BOX BODIES SHALL BE GREEN IN COLOR AND LIDS SHALL BE BLACK IN COLOR. ALL BOXES SHALL BE SECURED WITH A RAIN BIRD V-BLOCK-H HEXAGON HEAD BOLT, WASHER AND CLIP. BOXES SHALL BE AS SHOWN BELOW:					U
	RAIN BIRD	DESCRIPTION: SHRUB AREAS (GREEB BOXES AND LIDS) 10" ROUND BOXES: VB-10RDB (BOX) AND VB-10RDBKL (LID) STANDARD RECTANGULAR BOXES: VB-STDB (BOX) AND VB-STDBKL (LID) JUMBO RECTANGULAR BOXES: VB-JM8B (BOX) AND VB-JM8BK (LID)					

CONFIDENTIAL

TRAINING FACILITY

EL SEGUNDO, CALIFORNIA

Gensler

505 South Figueroa Street
Los Angeles, California 90017
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff RIOS

KPFF 700 South Flower Street Suite 2100 Los Angeles, CA 90017 Tel: 213 418 0201
RIOS 3110 W. Exposition Place Los Angeles, CA 90018 Tel: 323.765.1900 Tel: 323.765.1900

me engineers

MAGNUSSON & ASSOCIATES
Magnusson Klemencic Associates
ME Engineers
3110 W. Exposition Blvd., Suite 1200 Los Angeles, CA 90017 Tel: 310.842.8100
1301 5th Ave #2300 Seattle, WA 98101 Tel: 206.292.1200

Howe Engineers

Wrighton, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd., Suite 124 Carrollton, TX 75006 Tel: 972.334.3700
Howe Engineers
600 Wenhree Blvd., Suite 110 Norwell, MA 02061 Tel: 781.878.3300

S2O HLB

S2O Consultants, Inc.
14307 Finbury Drive Spring Hill, FL 34609 Tel: 813.505.1312
HLB
Horton Lees Brogden Lighting Design
8550 Washington Blvd. Culver City, CA 90232 Tel: xxx.xxx.xxx

Thorntom Tomsett

Aquatic Group
2226 Faraday Blvd. Carlsbad, CA 92009 Tel: xxx.xxx.xxx
Thorntom Tomsett
707 Wenhree Blvd., Suite 4450 Los Angeles, CA 90017 Tel: xxx.xxx.xxx

BUEHLER

Buehler
444 S. Flower Street Suite 750 Los Angeles, CA 90017 Tel: 323.536.2363

Δ	Date	Description
	05/23/25	DD PROGRESS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY

Project Number
25042

Description
IRRIGATION LEGEND AND NOTES

Scale
N.T.S.

Scale
L6.00

I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.
Signature: *Daniel S. M...* DATE: 07-31-25

811 sweeney + associates IRRIGATION DESIGN AND CONSULTING
3810 Van Ness Drive, Suite 4
Marina, CA 94133
Tel: 415.774.8888
www.sweeneyandassociates.com

NOTE A:
POINT OF CONNECTION (POC) #1 SHALL BE A 1 1/2" DEDICATED DOMESTIC IRRIGATION ONLY WATER METER WITH A 1/2" SERVICE LINE. THE CONTRACTOR SHALL VERIFY THE ACTUAL LOCATION, WATER TYPE, METER SIZE AND WATER PRESSURE IN THE FIELD PRIOR TO STARTING WORK. MEASUREMENT OF THE STATIC (NO WATER MOVING) WATER PRESSURE IS ACCEPTABLE FOR POTABLE WATER SYSTEMS WHERE NO PUMP HAS BEEN INDICATED ON THESE PLANS. WHEN USING RECYCLED WATER, OR ON POTABLE WATER SYSTEMS REQUIRING A PUMP, ONLY THE MEASUREMENT OF DYNAMIC (WATER MOVING THROUGH THE METER) WATER PRESSURE SHALL BE ACCEPTABLE. THE DYNAMIC WATER PRESSURE SHALL BE MEASURED AT THE MAXIMUM SYSTEM DEMAND AS INDICATED BELOW. IF ANY OF THE POC INFORMATION SHOWN ON THESE DRAWINGS IS FOUND TO BE DIFFERENT THAN THE ACTUAL POC INFORMATION GATHERED IN THE FIELD, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT AND IRRIGATION CONSULTANT. SHOULD THE CONTRACTOR FAIL TO VERIFY THE POC INFORMATION AS SHOWN HEREIN, ANY CHARGES REQUIRED BY LOW PRESSURE OR VOLUME SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

WATER PRESSURE AT POC:	80	PSI (STATIC)
DESIGN WATER PRESSURE:	67	PSI
MAXIMUM SYSTEM DEMAND:	14	GPM
RESIDUAL WATER PRESSURE:	13	PSI

NOTE B:
CONTROLLERS "A" SHALL BE OF THE BRAND, MODEL AND STATION SIZE AS INDICATED ON THE IRRIGATION MATERIALS LEGEND. THE CONTROLLER SHALL BE INSTALLED IN THE APPROXIMATE LOCATION SHOWN. THE CONTRACTOR SHALL COORDINATE THE REQUIRED ELECTRICAL POWER SUPPLY AT THIS LOCATION WITH THE OWNER'S AUTHORIZED REPRESENTATIVE. FINAL LOCATION OF CONTROLLER AND ELECTRICAL POINT OF CONNECTION SHALL BE CONFIRMED WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE C:
THESE PLANS ARE DIAGRAMMATIC. THE MAINLINE AND RELATED IRRIGATION EQUIPMENT IS SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATION OF MAINLINE AND RELATED IRRIGATION EQUIPMENT SHALL BE WITHIN PLANTER AND A MINIMUM OF 18" OFF ADJACENT HARDSCAPE AND OTHER OBSTACLES, TYPICAL.

NOTE D:
CONTRACTOR SHALL ADJUST ALL HEADS AS REQUIRED TO ACCOMMODATE ANY VERTICAL OBSTRUCTIONS THAT MAY OCCUR IN THE LANDSCAPE, INCLUDING BUT NOT LIMITED TO LIGHT POLES, FIRE HYDRANTS, TREES, ETC. WHEN A SLIGHT RELOCATION OF THE HEAD IS NOT SUFFICIENT TO CLEAR THE OBSTACLE, OR IF IT NEGATIVELY AFFECTS THE COVERAGE, AN ADDITIONAL HEAD SHALL BE INSTALLED TO PLACE ONE HEAD ON EITHER SIDE OF THE OBSTACLE. THE NOZZLES OF THESE TWO HEADS SHALL HAVE ARC PATTERNS THAT ADD UP TO THE ORIGINAL ARC PATTERN OF THE HEAD INDICATED ON THE PLANS. THE CONTRACTOR SHALL VERIFY ALL HEAD LAYOUT WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE E:
THESE PLANS ARE DIAGRAMMATIC. TREE BUBBLERS AND LATERAL LINES ARE SHOWN WITHIN THE PAVING FOR CLARITY ONLY. THE ACTUAL LOCATIONS SHALL BE WITHIN THE PLANTER. THE TREE BUBBLERS SHALL BE ALIGNED WITH TREES AS SHOWN ON THE PLANTING PLANS, AND AS DIRECTED BY OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL CONFIRM ALL LAYOUT IN FIELD WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO STARTING WORK.

NOTE F:
LATERAL LINE PIPING WITHIN BUILDING SHALL BE A TYPE K COPPER AND IS SHOWN FOR CLARITY ONLY. ACTUAL DESIGN AND ROUTING SHALL BE COMPLETED BY PLUMBING ENGINEER AND INSTALLED BY PLUMBING CONTRACTOR. EACH SUB-OUT WITHIN EACH PLANTER SHALL HAVE A COPPER FEMALE ADAPTER FOR THE LANDSCAPE CONTRACTOR CONNECTION. ALL PIPING THROUGH BUILDING TO EXTERIOR AND THROUGH BUILDING TO UPPER FLOOR SHALL BE PROVIDED BY PLUMBER.

NOTE G:
PRIOR TO START OF CONSTRUCTION THE CONTRACTOR SHALL SUBMIT TO THE OWNER AND LANDSCAPE ARCHITECT A SCALED SHOP DRAWING INDICATING THE PROPOSED LOCATIONS FOR THE IRRIGATION EQUIPMENT LISTED BELOW. THE SHOP DRAWING SHALL BE PREPARED TO THE SATISFACTION OF THE OWNER AND LANDSCAPE ARCHITECT. SHOP DRAWINGS MUST INCLUDE THE PROPOSED LOCATIONS FOR THE FOLLOWING ITEMS:

- POINT OF CONNECTION (INCLUDING WATER POC, BACK FLOW DEVICES, MASTER CONTROL VALVES, FLOW SENSORS, ETC.)
- ISOLATION VALVES
- AUTOMATIC CONTROL VALVES (INDICATE STATION NUMBER)
- QUICK COUPLING VALVES
- IRRIGATION CONTROLLER(S)
- RELATED EQUIPMENT (AS MAY BE DIRECTED)

EACH PIECE OF AFOREMENTIONED EQUIPMENT SHALL HAVE ITS PROPOSED INSTALLED LOCATION SHOWN ON THE SHOP DRAWINGS. THE SYMBOL FOR EACH PRODUCT SHALL BE A SCALED REPRESENTATION OF THE FOOTPRINT OF THE EQUIPMENT OR THE VALVE BOX IN WHICH THE EQUIPMENT IS INSTALLED. CONTRACTOR SHALL INSTALL ALL VALVE BOXES AND RELATED EQUIPMENT PER THE OWNER APPROVED SHOP DRAWINGS. ONCE THE SHOP DRAWING LOCATIONS ARE APPROVED, THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE WILL ALLOW NO ADJUSTMENTS TO THE APPROVED VALVE BOX PLACEMENT WITHOUT PRIOR WRITTEN ACCEPTANCE. ANY IRRIGATION EQUIPMENT INSTALLED WITHOUT PRIOR APPROVAL WITH SHOP DRAWINGS WILL BE SUBJECT TO RELOCATION BASED ON DIRECTION BY THE LANDSCAPE ARCHITECT AT THE CONTRACTOR'S EXPENSE.

WATER PRESSURE LOSS CALCULATIONS

WATER METER NUMBER	1	WATER METER SIZE (inches)	1.50
HYDRAULIC GRADE LINE (FT)	0	WATER METER ELEVATION (FT)	0
ELEVATION DIFFERENCE (FT)	0	STATIC PRESSURE (PSI)	80.0
REMOTE CONTROL VALVE #	A16	REMOTE CONTROL VALVE SIZE (in)	1.00
R C V DEMAND (GPM)	3	TOTAL DEMAND (GPM)	14
HIGHEST HEAD SERVED (FT)	11	STATIC PRESSURE AT HIGHEST HEAD	75.2

SIZE (inches)	DESCRIPTION	FLOW	#	LOSS
1.50	SERVICE LINE (50 FT OF TYPE K COPPER)	14	1	0.48 PSI
1.50	WATER METER (XXX TYPE)	14	2	0.40 PSI
1.50	BACKFLOW PREVENTER (RP TYPE)	14	3	12.00 PSI
1.50	FILTRATION (WYE FILTER)	14	4	0.30 PSI
1.50	PRESSURE REGULATOR (WALKING SOOHLR)	14	5	3.50 PSI
1.50	RFI ASSEMBLY PIPING (BRASS; W/ 4 ELLS)	14	6	0.57 PSI
1.00	MASTER CONTROL VALVE	14	7	1.53 PSI
1.00	FLOW SENSOR	14	8	1.00 PSI
1.50	ISOLATION VALVES (BALL TYPE)	14	9	1.00 PSI
1.50	650 FEET OF MAINLINE, CL 315 PVC	14	10	3.77 PSI
1.50	10 - 90 DEGREE ELBOWS	14	13	0.59 PSI
1.00	REMOTE CONTROL VALVE ASSEMBLY	3	14	3.00 PSI
10%	LATERAL LINE LOSSES	3	15	3.00 PSI
20%	FITTING LOSS (IN ADDITION TO ELBOWS SHOWN)	N/A	16	0.75 PSI
11.00	ELEVATION CHANGE (P.O.C. TO HIGHEST HEAD)	N/A	17	4.76 PSI
TOTAL SYSTEM PRESSURE LOSS (SUM OF #1 THRU #17)				
		18		37.0 PSI
PRESSURE REQUIRED AT HEAD (OPERATING PRESSURE)		19		30.0 PSI
TOTAL PRESSURE REQUIRED (SUM OF #18 AND #19)		20		67.0 PSI
STATIC WATER PRESSURE (FROM ABOVE)		21		80.0 PSI
RESIDUAL PRESSURE (SUBTRACT #20 FROM #21)		22		13.0 PSI
SET PNT OR WCY AT #20 PLUS 10 PSI		23		77.0 PSI
PRESSURE BOOST, IF REQUIRED (SET TO ACHIEVE 20 PSI RESIDUAL)		24		N/A PSI

OVERALL LANDSCAPE PLAN
1" = 20'-0"



I HAVE COMPLIED WITH THE CRITERIA OF THE IRRIGATION GUIDELINES AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE IRRIGATION DESIGN PLAN

811 sweeney + associates
IRRIGATION DESIGN AND CONSULTING
3810 10th Avenue, Suite 4
Irvine, CA 92618
Tel: 949.261.8888
www.sweeneyassociates.com F: 949.261.8888

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601



KPFF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201



RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800



MAGNUSON
KLEINERTIC
ASSOCIATES
Magnuson KleinerTic
Associates
600 Wishore Blvd., Suite 1200
Los Angeles, CA 90017
Tel: 206.292.1200



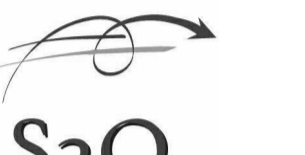
ME Engineers
600 Wishore Blvd., Suite 1200
Los Angeles, CA 90017
Tel: 310.842.8700



Wrightson, Johnson, Haddon &
Williams, Inc.
3423 Midcourt Rd., Suite 124
Canton, TX 75008
Tel: 972.934.3700



Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500



S2O Consultants, Inc.
14387 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312



Horton Lees Proghen Lighting
Design
8580 Washington Blvd.
Culver City, CA 90232
Tel: 310.637.0929



Aquatic Group
2225 Faraday Avenue
Carlsbad, CA 92009
Tel: 800.938.0542



Thornton Tomasetti
707 Wishore Blvd., Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000



Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363



Blitz
837 Washington Blvd
Culver City, CA 90232
Tel: 310.345.8888

Date	Description
05/23/2025	DD PROGRESS
08/05/2025	DESIGN DEVELOPMENT
09/30/2025	CONSTRUCTION DOCUMENT PROGRESS
10/28/2025	ISSUE FOR PLAN CHECK

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
25042
Description
GROUND FLOOR PLANTING PLAN

Scale
As indicated

L7.10

TREE LEGEND

SYMBOL	KEY		SCIENTIFIC NAME	COMMON NAME
	GENUS	SPECIES		
	ARB	MAR	Arbutus 'Marina'	Strawberry Tree
	PAR	DES	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde
	TRI	ELE	Tristania laurina 'Elegant'	Water Gum
	WAS	FIL	Washingtonia filifera	California Fan Palm

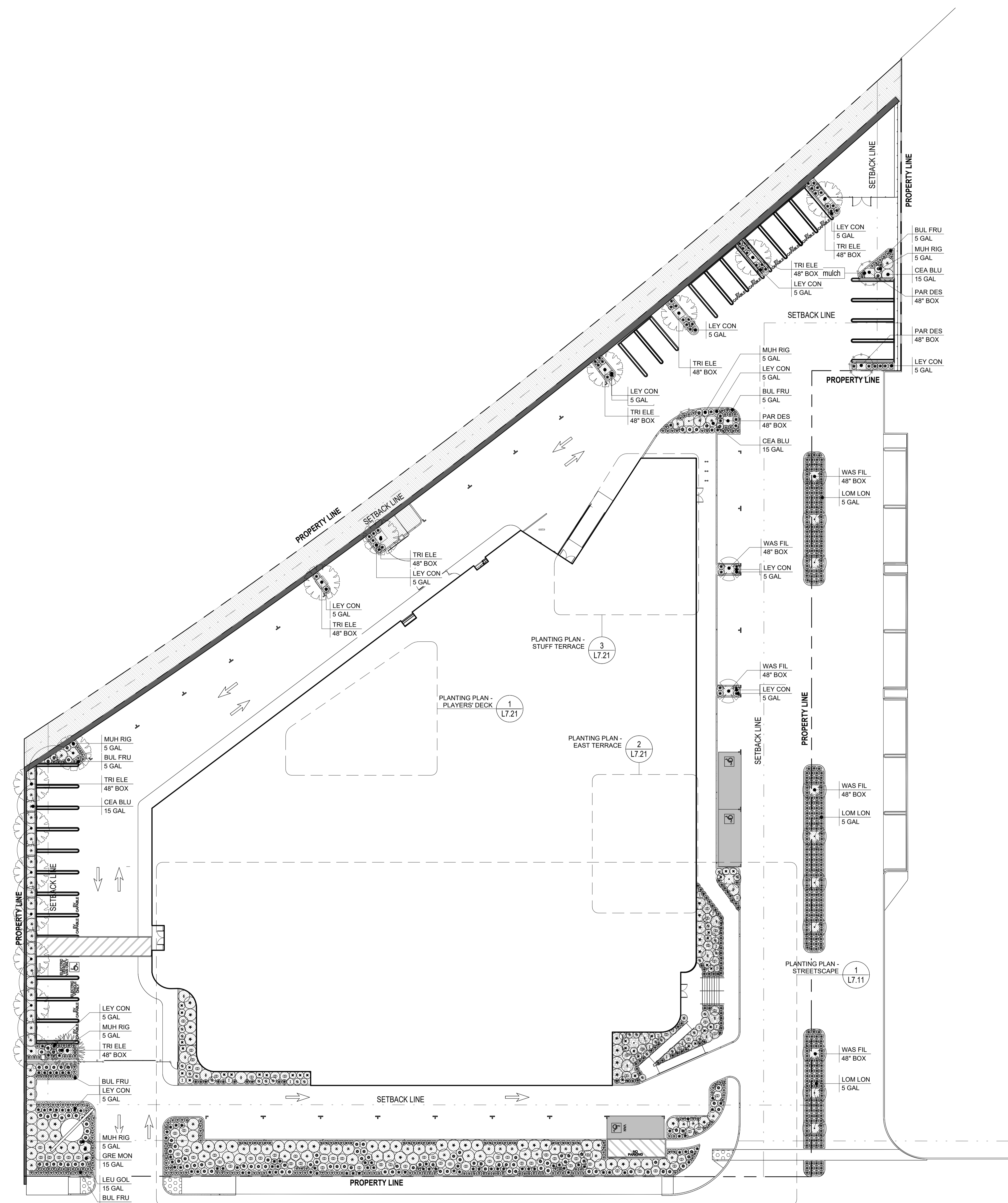
SHRUB LEGEND

SYMBOL	KEY		SCIENTIFIC NAME	COMMON NAME
	GENUS	SPECIES		
	BUL	FRU	Bulbine frutescens	Yellow Stalked Bulbine
	CEA	BLU	Ceanothus 'Blue Jeans'	Blue Jeans California Lilac
	GRE	MON	Grevillea 'Moonlight'	Moonlight Grevillea
	LEU	GOL	Leucadendron 'Golden Tulip'	Willow Cone Bush
	LEY	CON	Leymus condensatus 'Canyon Prince'	Canyon Prince Wild Rye
	LOM	LON	Lomandra longifolia 'Breeze'	Dwarf Mat Rush
	LOP	MAR	Lophocereus marginatus	Mexican Fence Post
	MUH	RIG	Muhlenbergia rigens	Deer Grass
	MUH	WHI	Muhlenbergia 'White Cloud'	White Cloud Awm Muhly
	VER	LIL	Verbena ilacina 'De La Mina'	Cedros Island Verbena
	YUC	PAL	Yucca pallida	Pale Leaf Yucca
	YUC	ROS	Yucca rostrata	Big Bend Yucca

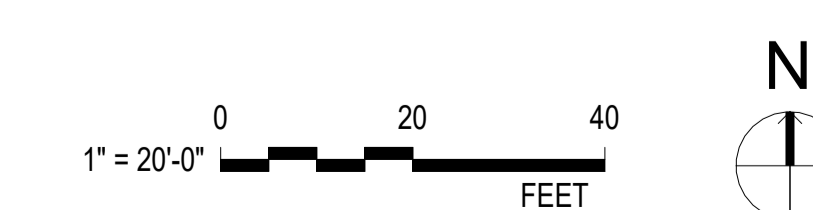
MULCH LEGEND

	WOOD MULCH
	GRAVEL MULCH

NOTE: OIL EASEMENT AND ELEVATION OF OIL LINE PIPES ALONG ROSECRANS AVE RESTRICTS PLANTING DEPTH FOR SHADE TREES. REFER TO SURVEY AND CIVIL DRAWING FOR ADDITIONAL EASEMENT INFORMATION



OVERALL LANDSCAPE PLAN 1
1" = 20'-0"



Gensler
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff
KPF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

MAGNUSSON KLEINERTIC ASSOCIATES
Magnusson Klemencic Associates
1301 5th Ave #2200
Seattle, WA 98101
Tel: 206.292.1200

WJHW
A PNY COMPANY
Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd., Suite 124
Carrington, TX 75008
Tel: 972.934.3700

S2O
S2O Consultants, Inc.
14387 Finisbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

Aquatic Group
2225 Faraday Avenue
Carlsbad, CA 92008
Tel: xxx.xxx.xxxx

BUEHLER
Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363

△	Date	Description
	05/23/25	DD PROGRESS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
25042
Description
2F PLANTING ENLARGEMENT PLAN

Scale
As indicated

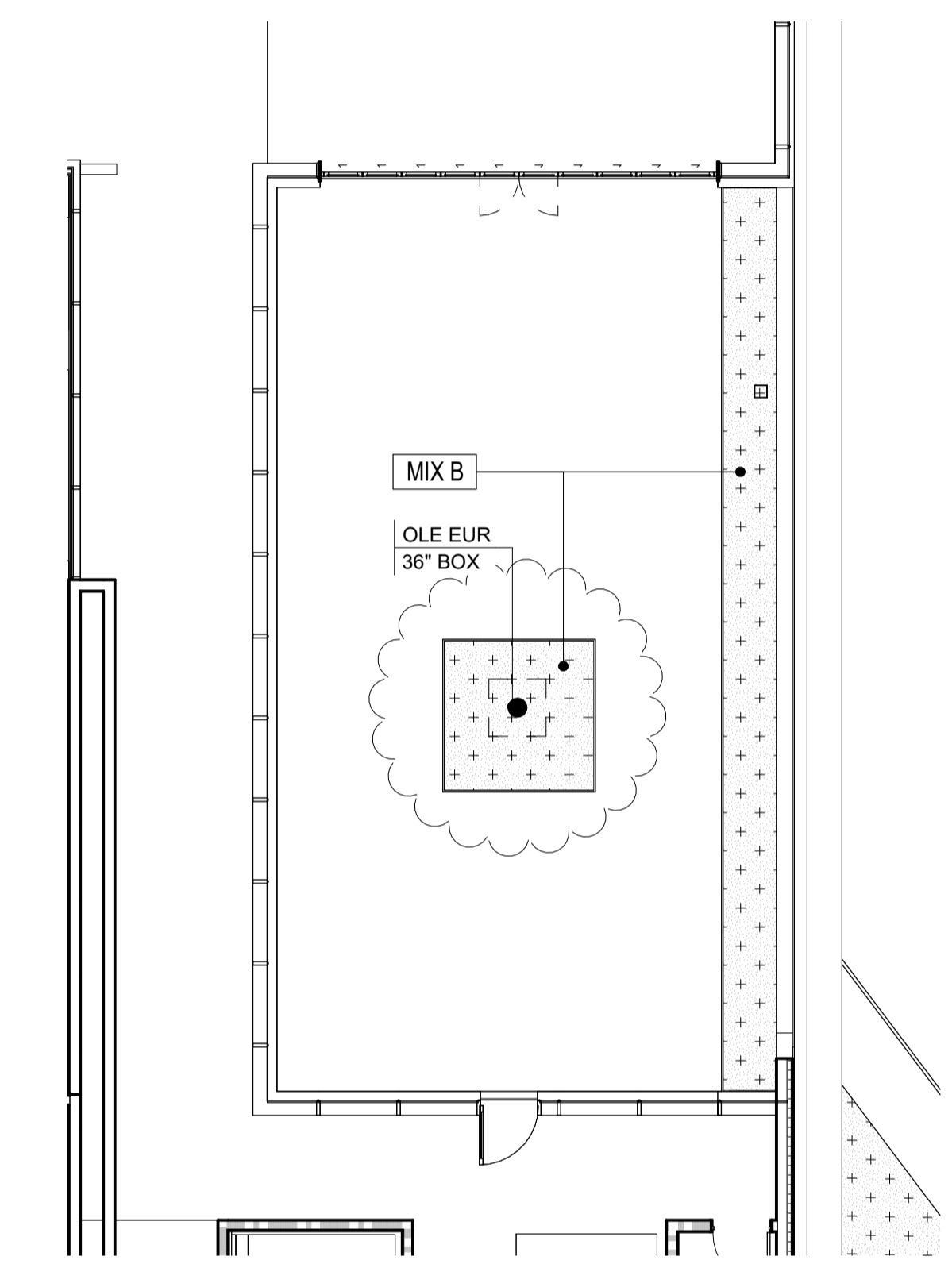
L7.21

TREE LEGEND

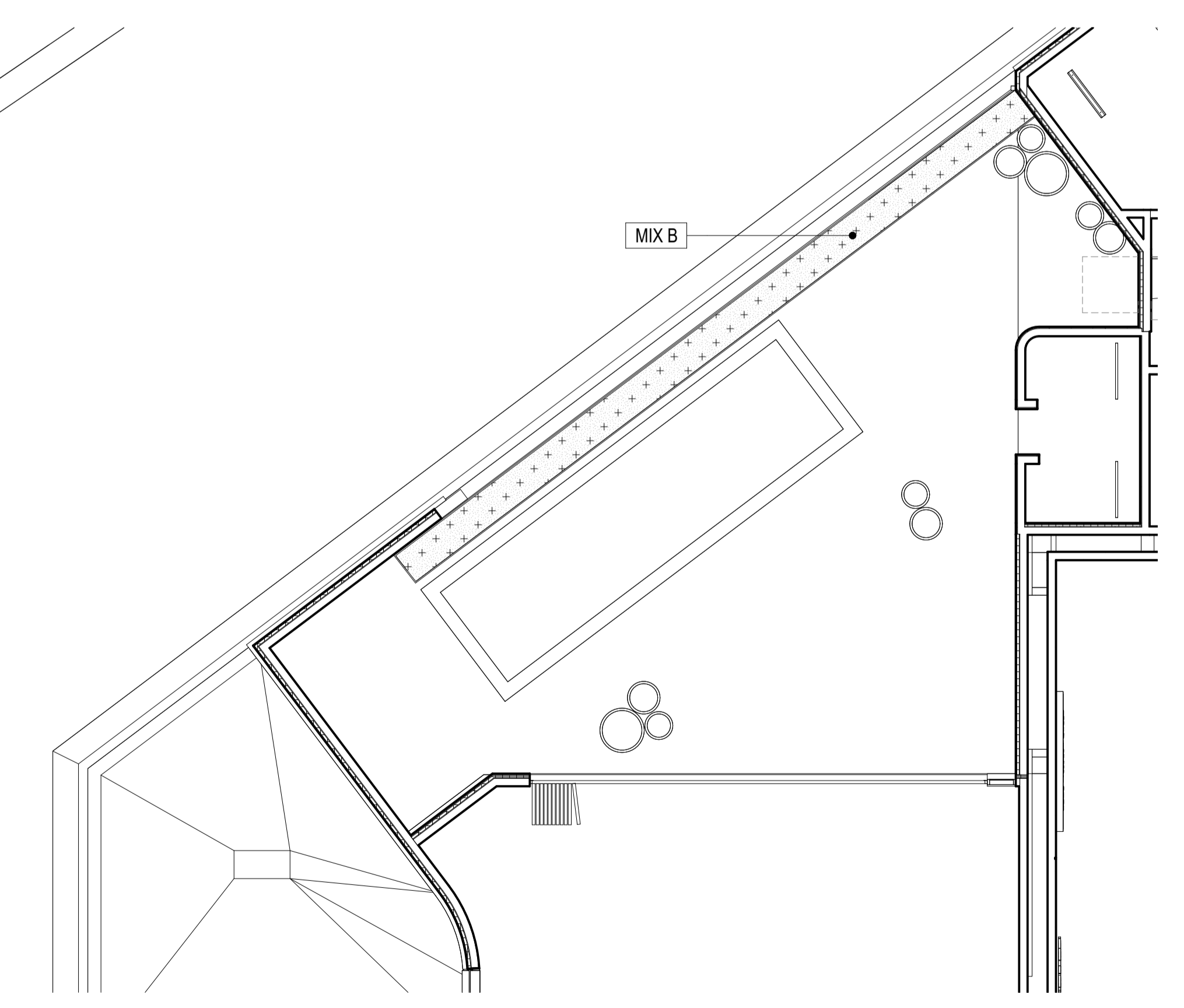
SYMBOL	KEY		SCIENTIFIC NAME	COMMON NAME
	GENUS	SPECIES		
	ARB	MAR	Arbutus 'Marina'	Strawberry Tree
	OLE	EUR	Olea europaea	Olive
	PAR	DES	Parkinsonia x 'Desert Museum'	Desert Museum Palo Verde
	TRI	ELE	Tristania laurina 'Elegant'	Water Gum
	WAS	ROB	Washingtonia Robusta	Mexican Fan Palm

SHRUB MIX LEGEND

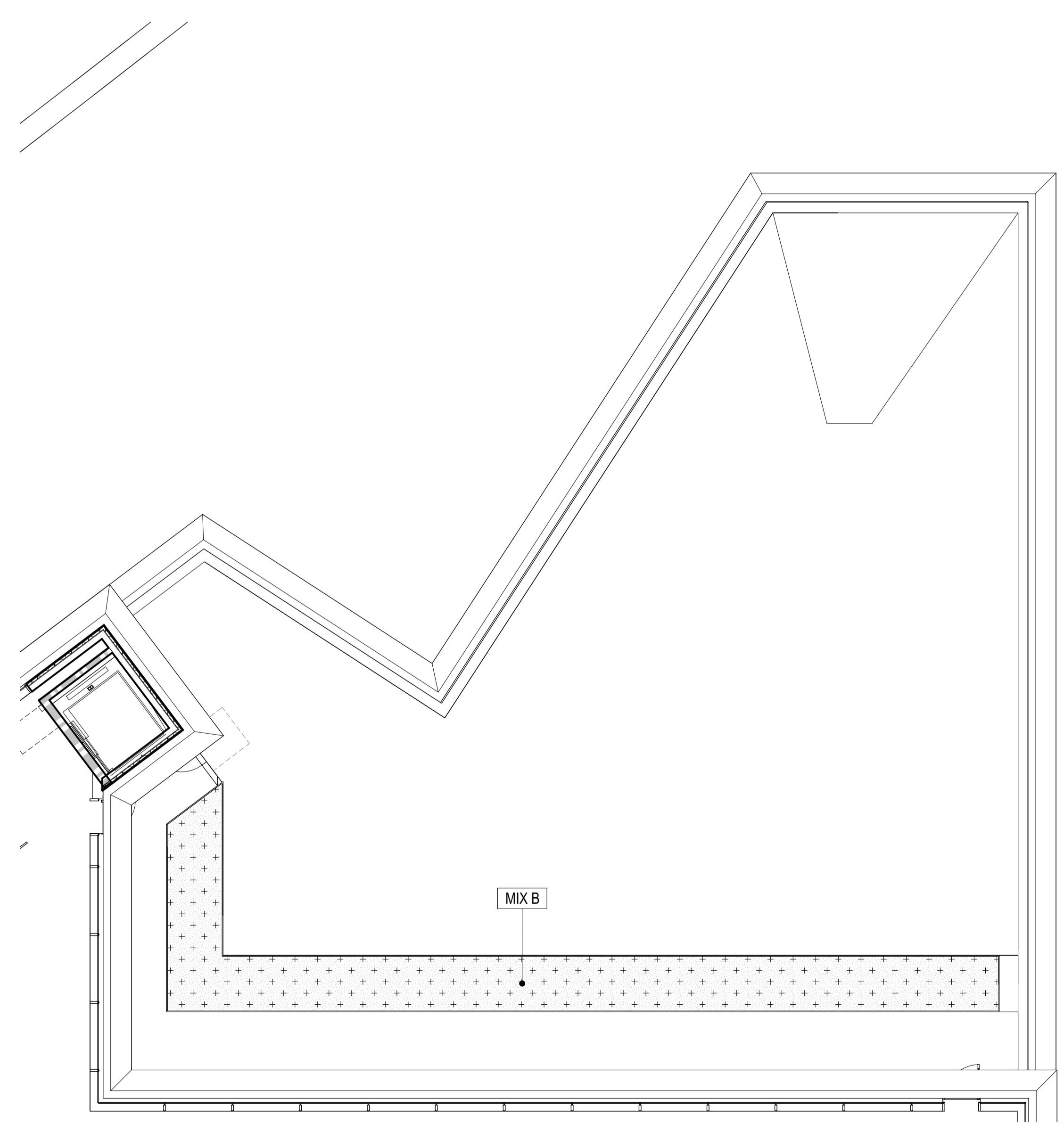
	MIX A Grevillea 'Moonlight' Acacia theoplylla Lomandra longifolia 'Breeze' Lavandula x intermedia Hebe spp. Leucadendron 'Safari Sunset' Acacia 'Cousin Itt' Muhlenbergia capillaris Leymus condensatus 'Canyon Prince' Yucca pallida Yucca rostrata Yucca whipplei Cycas revoluta
	MIX B Lomandra longifolia 'Breeze' Strelitzia nicotai Woodwardia fimbriata Kalimeris beharensis Chamaecyparis humilis Howea forsteriana Acacia 'Cousin Itt' Acacia sellowiana Cyathea cooperi Monstera deliciosa Leucadendron 'Safari Sunset' Philodendron spp.



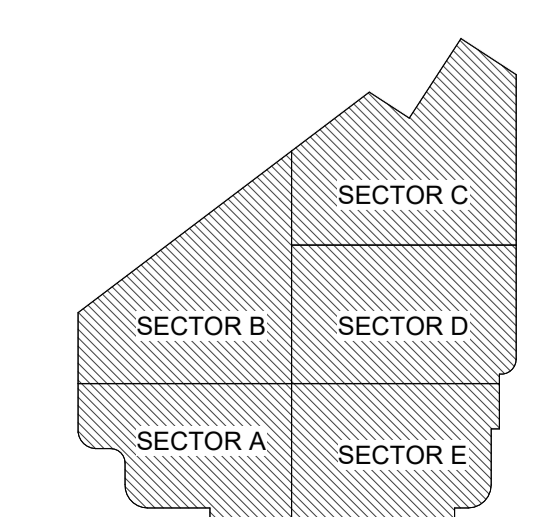
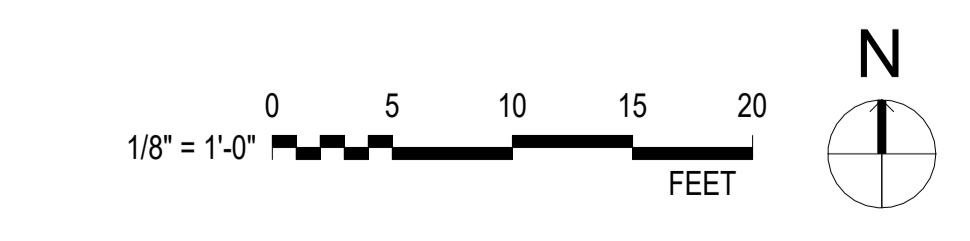
PLANTING PLAN - EAST TERRACE
1/8" = 1'-0"

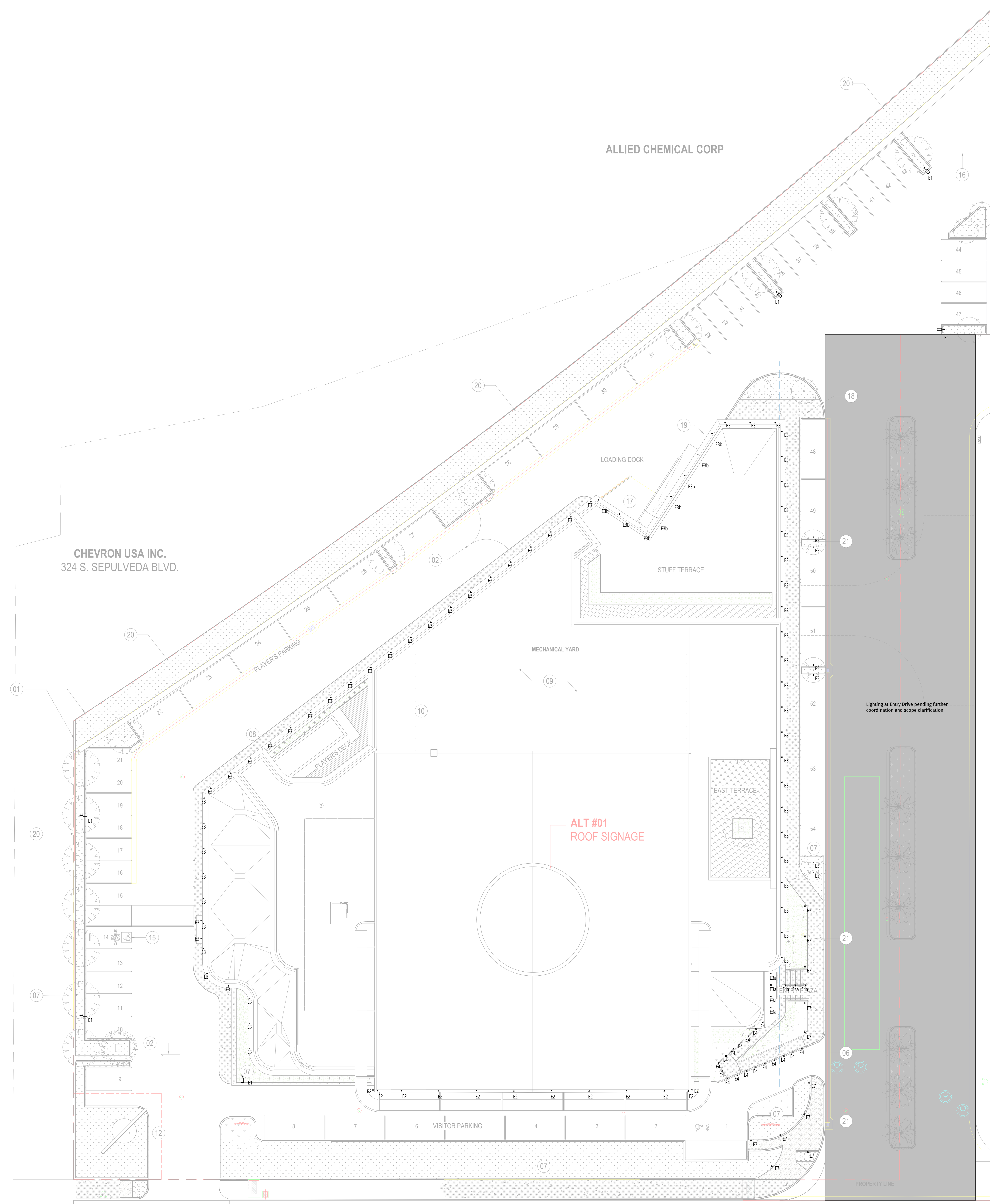


PLANTING PLAN - PLAYERS' DECK
1/8" = 1'-0"



PLANTING PLAN - STUFF TERRACE
1/8" = 1'-0"



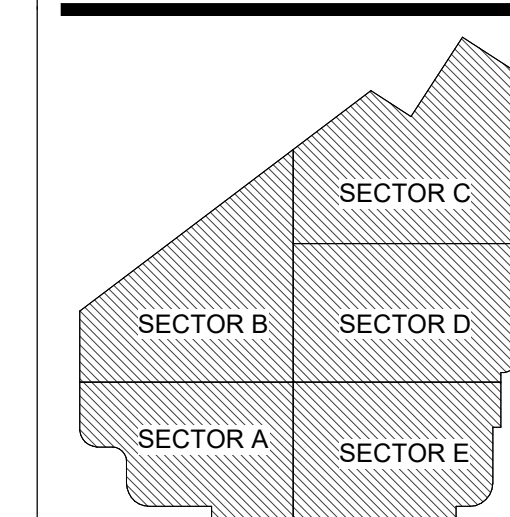


SHEET NOTES

GENERAL NOTES

LEGEND

KEY PLAN



Gensler
2011 ROSECRANS AVE., EL SEGUNDO, CA. 90245

Gensler
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff
KPF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS
RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800

MAGNUSSON KLEMMENCIC ASSOCIATES
Magnusson Klemencic Associates
1301 5th Ave #2300
Seattle, WA 98101
Tel: 206.292.1200

me engineers
ME Engineers
600 Wilshire Blvd, Suite 1200
Los Angeles, CA 90017
Tel: 310.842.8700

WJHW A PMV COMPANY
Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd, Suite 124
Carrington, TX 75006
Tel: 972.934.3700

HOWE ENGINEERS
Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500

S2O
S2O Consultants, Inc.
14387 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

HLB
Horion Lees Brogden Lighting Design
8580 Washington Blvd.
Culver City, CA 90232
Tel: 310.637.0929

AQUATIC
Aquatic Group
2225 Farnsley Avenue
Carlsbad, CA 92009
Tel: 800.938.0542

Thornton Tomasetti
Thornton Tomasetti
707 Wilshire Blvd, Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUEHLER
Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.536.2363

blitz LOS ANGELES
Blitz
8537 Washington Blvd
Culver City, CA 90232
Tel: 310.343.6859

△ Date	Description

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY

Project Number
250086.00

Description
LIGHTING SITE PLAN

Scale
1/16" = 1'-0"

LT0.01

SHEET NOTES

- 02 AUTOMATIC VEHICULAR SLIDING GATE
- 03 SLIDING GATE OPERATOR LOCATED ON TOP OF CONCRETE PAD ON SECURE SIDE OF FENCE LINE
- 04 METAL FENCE; RE SHEET A0.20; RE: LANDSCAPE NARRATIVE
- 06 ACCESSIBLE SITE RAMP; REFER TO LANDSCAPE DRAWINGS
- 07 SITE PLANTING; REFER TO LANDSCAPE DRAWINGS
- 11 LINE OF BUILDING CANOPY ABOVE
- 12 EXISTING OVERHEAD SICE (SOUTHERN CALIFORNIA EDISON) TRANSMISSION TOWER
- 14 RAISED PLANTER; RE: LANDSCAPE DRAWINGS

CONFIDENTIAL TRAINING FACILITY
 2011 ROSECRANS AVE.
 EL SEGUNDO, CA. 90245

Gensler

500 South Figueroa Street
 Los Angeles, California 90071
 United States
 Tel: 213.327.3600
 Fax: 213.327.3601



KPF
 700 South Flower Street
 Suite 2150
 Los Angeles, CA 90017
 Tel: 213.418.0201



RIOS
 3110 W. Exposition Place
 Los Angeles, CA 90018
 Tel: 323.785.1800
 Tel: 213.418.0201



ME ENGINEERS
 600 Wilshire Blvd., Suite 1200
 Los Angeles, CA 90017
 Tel: 310.842.8700



MAGNUSSON KLEMENCIC ASSOCIATES
 Magnusson Klemencic Associates
 1301 5th Ave #3200
 Seattle, WA 98101
 Tel: 206.292.1200



WJHW
 A PMV COMPANY
 3425 Midcourt Rd., Suite 124
 Carrollton, TX 75006
 Tel: 972.334.3700



HOWE ENGINEERS
 141 Longwater Drive
 Suite 110
 Norwell, MA 02061
 Tel: 781.878.3500



S2O
 S2O Consultants, Inc.
 14307 Finbury Drive
 Spring Hill, FL 34609
 Tel: 813.505.1312



HLB
 Horton Lees Brogden Lighting Design
 8580 Washington Blvd.
 Culver City, CA 90232
 Tel: 310.637.9529

GENERAL NOTES

1. REFER TO G1.02 FOR GENERAL NOTES, GRAPHIC SYMBOLS & ABBREVIATIONS.
2. REFER TO G1.05 & G1.05 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS.
3. REFER TO A0.01 FOR SITE FENCING TYPES.
4. REFER TO G0.99 FOR ALTERNATES SCHEDULE.



AQUATIC GROUP
 Aquatic Group
 2225 Faraday Avenue
 Carlsbad, CA 92009
 Tel: 800.938.0542



Thornton Tomasetti
 707 Wilshire Blvd., Suite 4450
 Los Angeles, CA 90017
 Tel: 213.330.7000



BUEHLER
 Buehler
 444 S. Flower Street
 Suite 750
 Los Angeles, CA 90071
 Tel: 323.538.2363



blitz
 LOS ANGELES
 Blitz
 6537 Washington Blvd
 Culver City, CA 90232
 Tel: 310.343.8866

Date	Description
05/23/2025	DESIGN DEVELOPMENT PROGRESS
08/05/2025	DESIGN DEVELOPMENT
09/30/2025	CONSTRUCTION DOCUMENTS PROGRESS

LEGEND

- PROPERTY LINE
- - - - LINE OF SETBACK
- ENTRY
- PROJECT BUILDING
- NOT IN SCOPE
*AREA UNDER SEPERATE PERMIT
- EL. XXX'X"

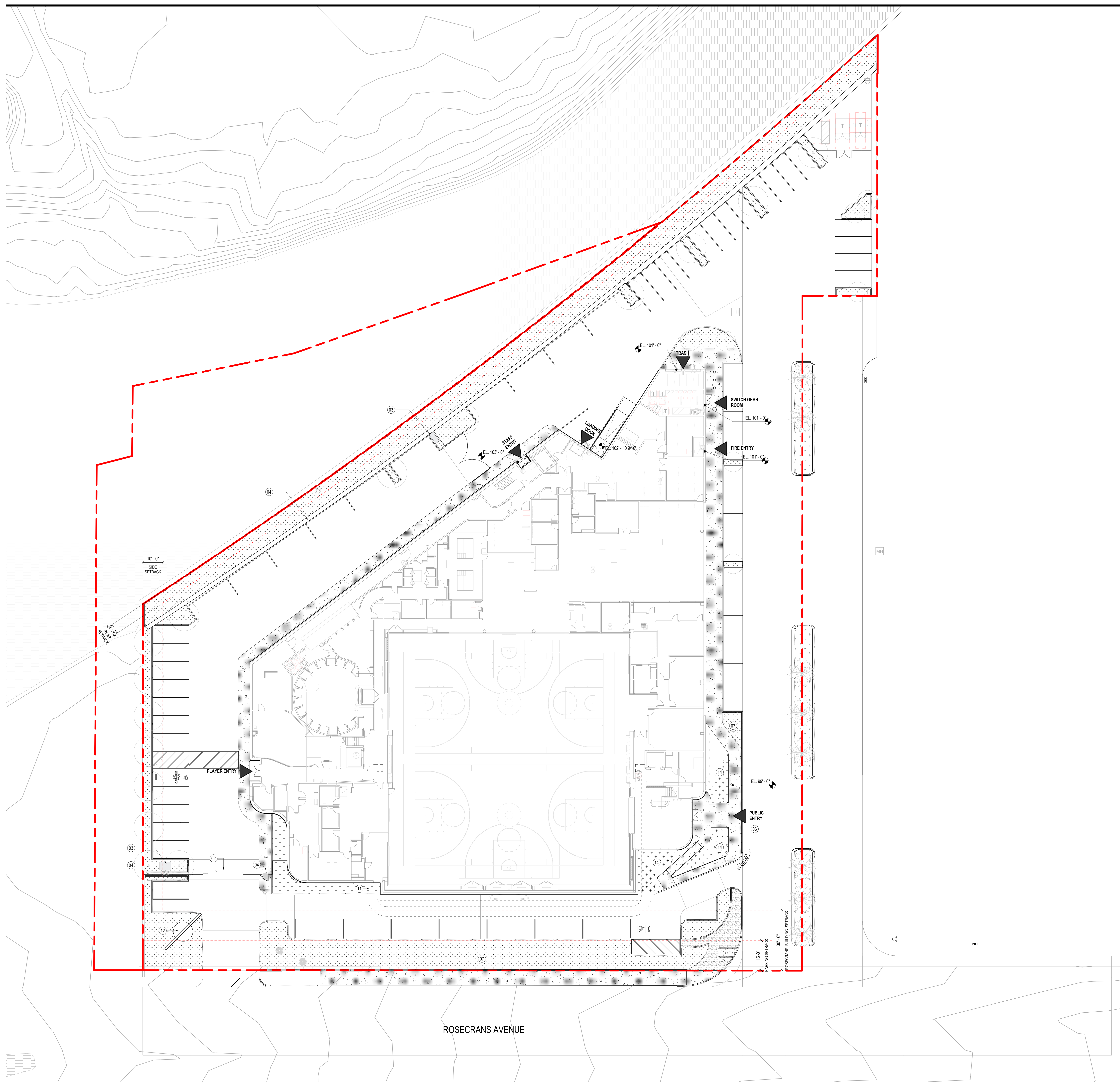
Seal / Signature

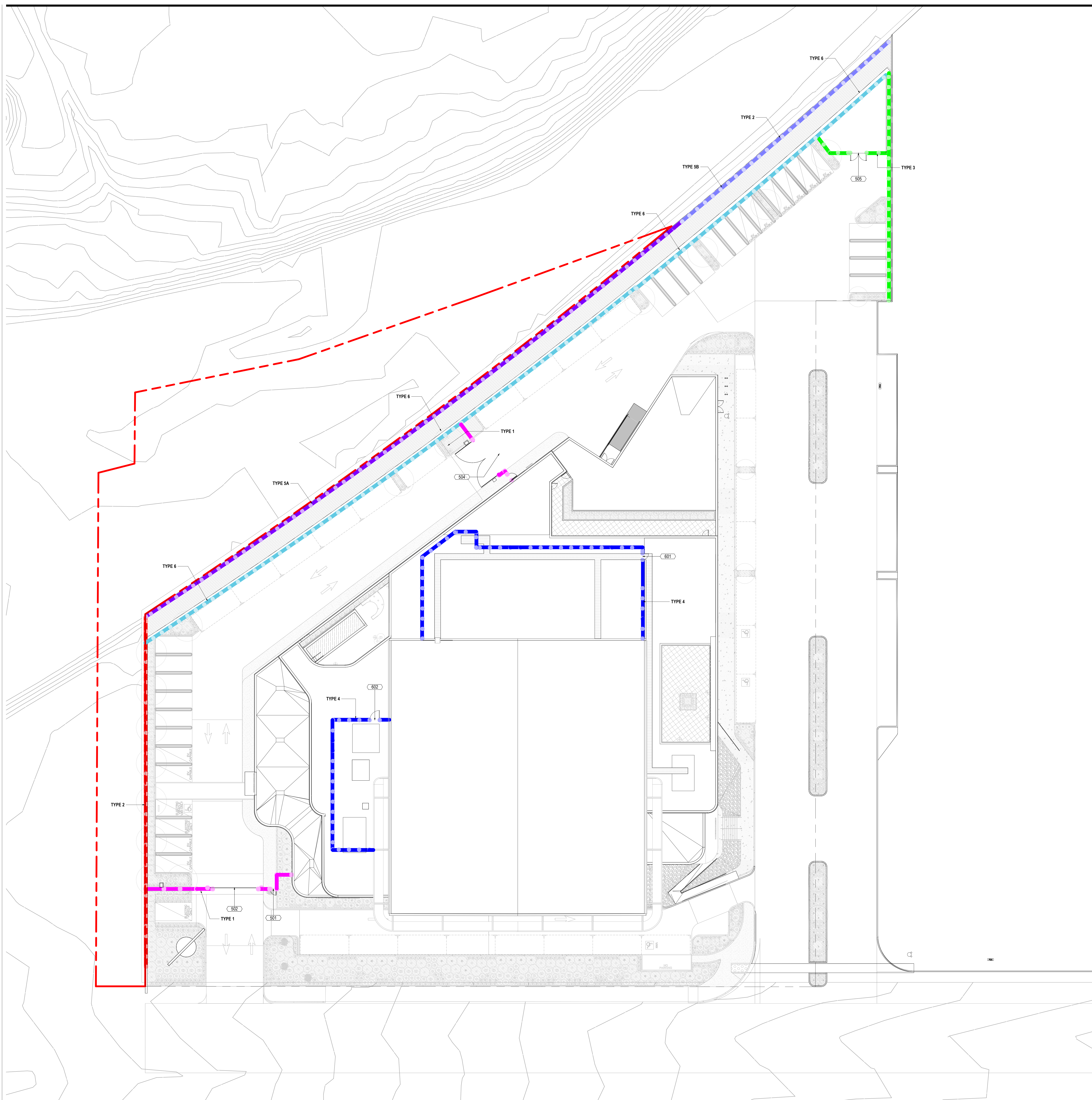
NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
 Project Number
05.5301.000
 Description
SITE PLAN

Scale
 As indicated
 Ref North

A0.10





GENERAL NOTES

1. SITE FENCES ARE UNDER SEPARATE REVIEW AND APPROVAL.
2. REFER TO SHEET G3.40 FOR FENCING TYPES.
3. REFER TO SHEET A0.20 FOR FENCING LOCATIONS.

LEGEND

- TYPE 1 (FN-01) 8' HIGH CUSTOM HORIZONTAL METAL FENCE
- TYPE 2 (FN-02) 8' HIGH METAL FENCE MOUNTED ON TOP OF RETAINING WALL. RE: CIVIL FOR WALL HEIGHT.
- TYPE 3 (FN-03) 8' HIGH METAL FENCE - ELECTRICAL EQUIPMENT ENCLOSURE
- TYPE 4 (FN-04) 8' HIGH METAL FENCE - ROOF MECHANICAL YARD AND EQUIPMENT ENCLOSURE
- TYPE 5A (FN-5A) EXISTING FENCE
- TYPE 5B (FN-5B) EXISTING FENCE
- TYPE 6 (FN-06) 4' HIGH GUARDRAIL FENCE - VERTICAL PICKETS, ON TOP OF PERMANENT SHOTCRETE RETAINING WALL

CONFIDENTIAL TRAINING FACILITY
2021 ROSECRANS AVE.
EL SEGUNDO, CA. 90245

Gensler
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff
KPF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS
RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800
Tel: 213.418.0201

me engineers
MAGNUSON KLEINERTIC ASSOCIATES
Magnusson KleinerTic Associates
600 Wilshire Blvd, Suite 1200
Los Angeles, CA 90017
Tel: 310.842.8700

WJHW
Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd, Suite 124
Canton, TX 75006
Tel: 972.934.3700

HOWE ENGINEERS
Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500

S2O
S2O Consultants, Inc.
14307 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

HLB
Horton Lees Brogden Lighting Design
8580 Washington Blvd.
Culver City, CA 90232
Tel: 310.637.9529

AQUATIC
Aquatic Group
2226 Farnsley Avenue
Carlsbad, CA 92008
Tel: 800.938.0542

Thornton Tomasetti
Thornton Tomasetti
707 Wilshire Blvd, Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUHLER
Bluz
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363

blitz
Blitz
6537 Washington Blvd
Culver City, CA 90232
Tel: 310.345.8866

Date	Description
10/28/2025	ISSUE FOR PLAN CHECK



Seal / Signature

NOT FOR CONSTRUCTION

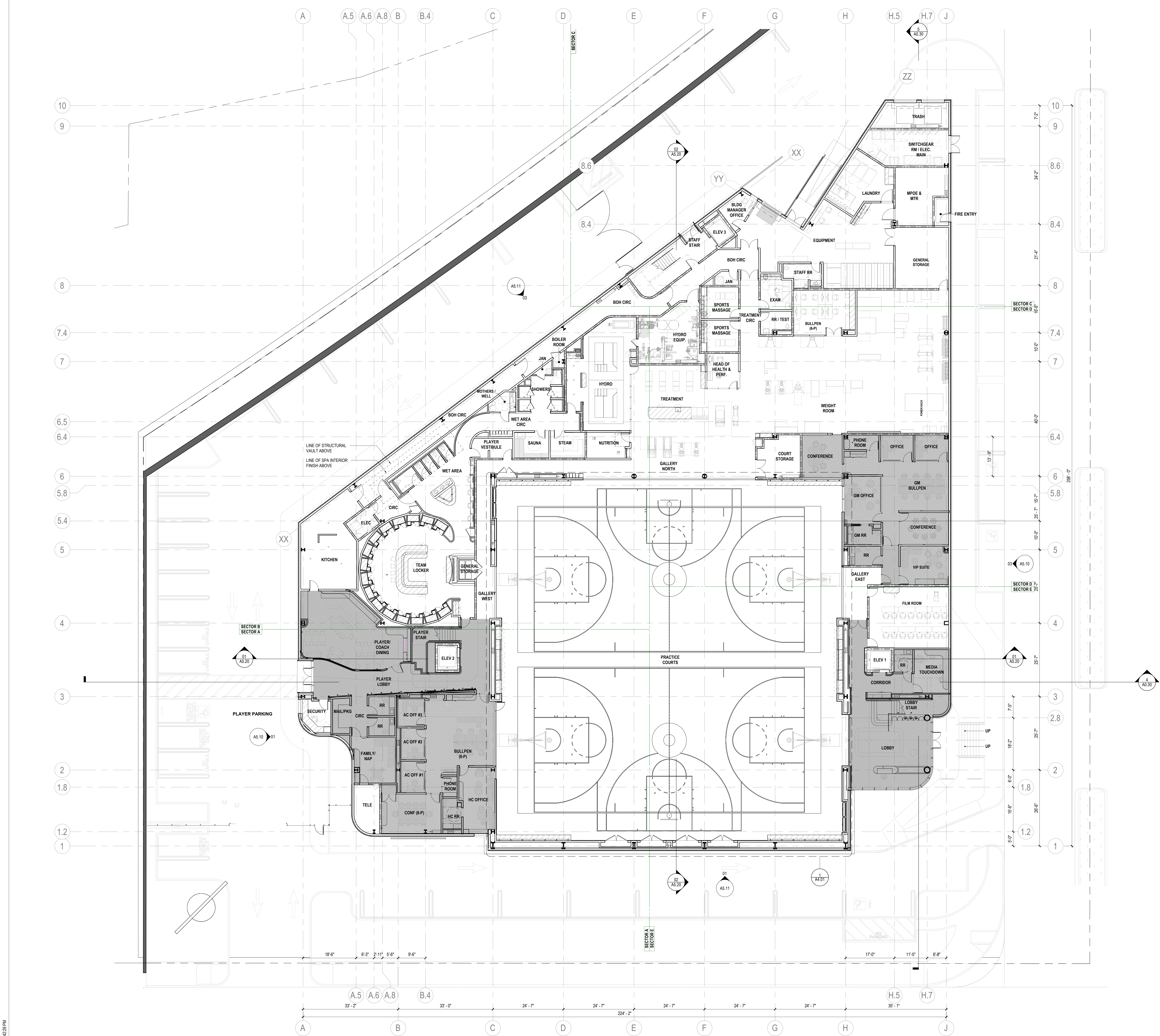
Project Name
CONFIDENTIAL TRAINING FACILITY

Project Number
05.5301.000

Description
SITE FENCING

Scale
As indicated

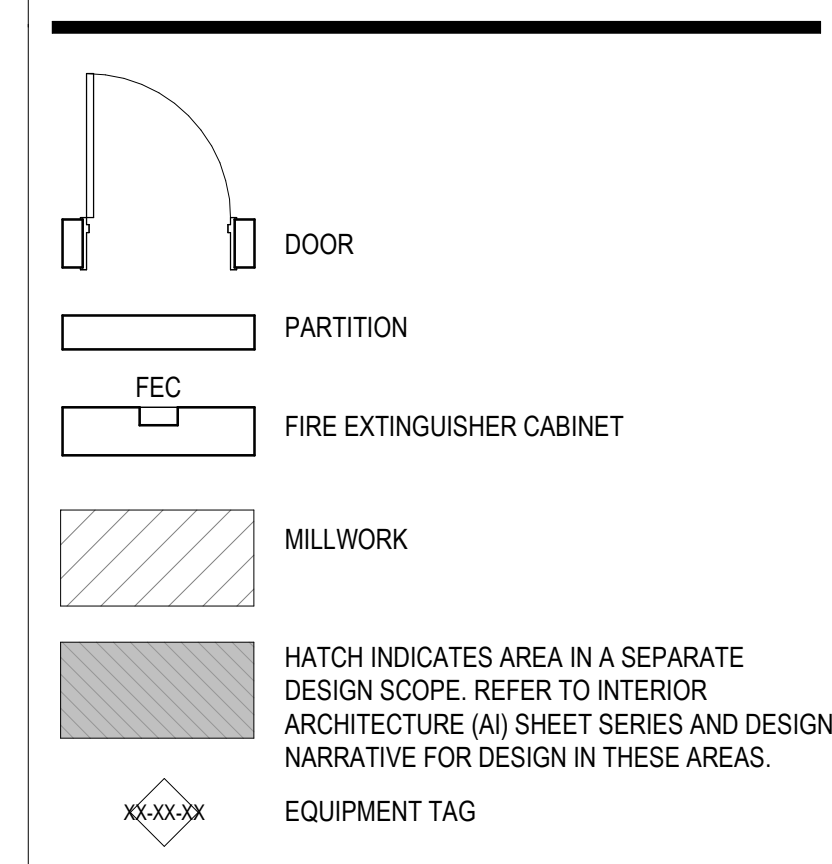
A0.20



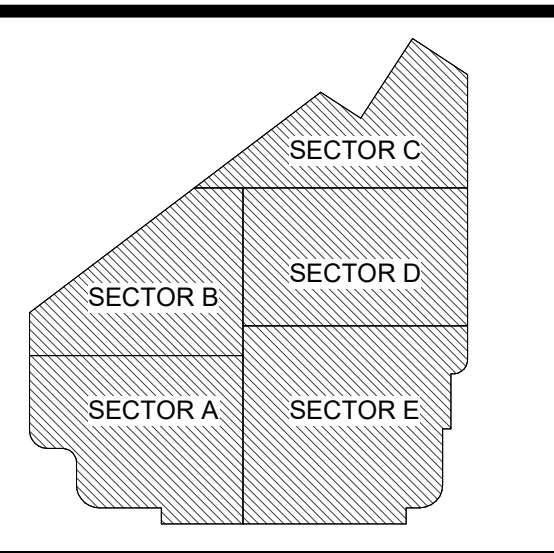
GENERAL NOTES

- REF. G1.02 FOR GENERAL NOTES, GRAPHIC SYMBOLS & ABBREVIATIONS. REF. G1.05 & G1.06 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS. USE 5/8" TYPE 'X' O.P. BO. THROUGHOUT U.O.N.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN FLAMB. CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
- ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- PROVIDE PAINTED/TAPED CHALK LAYOUT FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION OF TRACK AND STUDS. LAYOUT TO INCLUDE PARTITIONS, MILLWORK, SOFFITS, LIGHTS AND ALL SIGNIFICANT ARCHITECTURAL FEATURES. PROVIDE GREENBOARD AT PLUMBING WALL LOCATIONS. GC TO COORDINATE INSTALLATION OF ALL CABINETS, CARD READERS AND DEVICES AS INDICATED ON DWGS TO ENSURE PROPER WALL RECESS IS PROVIDED. ALL DEVICES INSTALLED IN EXISTING FIRE RATED PARTITIONS SHALL RECEIVE FIRE CALLED J-BOXES. GC TO MAINTAIN INTEGRITY OF EXISTING FIRE RATINGS WHERE OCCURS.
- PROVIDE SHEET METAL BLOCKING FOR ALL MILLWORK AND FURNITURE OVERHEADS. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT.
- GC TO SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATIONS OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNO ALL DIMENSIONS MARKED CLEARLY OR 'HOLD' SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, STONE, TILE, FABRIC PANELS, MILLWORK, ETC.
- PROVIDE FIRE TREATED PLYWOOD BACKING AT SERVER CLOSET AS REQUIRED.
- FURNITURE SHOWN FOR REFERENCE ONLY.

LEGEND



KEY PLAN



CONFIDENTIAL TRAINING FACILITY
2011 ROSECRANS AVE.
EL SEGUNDO, CA. 90245

Gensler
500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff **RIOS**
KPF 700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201
RIOS 3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800

me engineers
Magnusson Klemencic Associates
Magnusson Klemencic Associates
600 Wilshire Blvd, Suite 1200
Los Angeles, CA 90017
Tel: 206.292.1200
ME Engineers
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 310.842.8700

WJHW **HOWE ENGINEERS**
Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd., Suite 124
Canton, TX 75006
Tel: 972.934.3700
Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500

S2O **HLB**
S2O Consultants, Inc.
14307 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312
Horton Lees Brogden Lighting Design
8580 Washington Blvd.
Culver City, CA 90232
Tel: 310.637.9529

AQUATIC **Thornton Tomasetti**
Aquatic Group
2226 Faraday Avenue
Carlsbad, CA 92009
Tel: 800.938.0542
Thornton Tomasetti
707 Wilshire Blvd, Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUEHLER **blitz**
Bluelier
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363
Blitz
6537 Washington Blvd
Culver City, CA 90232
Tel: 310.343.8866

Date	Description
04/18/2025	ISSUE FOR SCHEMATIC DESIGN
05/23/2025	DESIGN DEVELOPMENT PROGRESS
08/05/2025	DESIGN DEVELOPMENT

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY
Project Number
05.5301.000
Description
REFERENCE PLAN - COURT LEVEL 01

Scale
As indicated
Ref North

A1.01

GENERAL NOTES

- REF. G1 02 FOR GENERAL NOTES, GRAPHIC SYMBOLS & ABBREVIATIONS. REF. G1 05 & G1 06 FOR ACCESSIBILITY REQUIREMENTS, CLEARANCES AND MOUNTING HEIGHTS. USE "SP" TYPE "X" OVP. BD. THROUGHOUT U.O.N.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN FLAME CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
- ALL GLASS TO BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- PROVIDE PAINTED/TAPED CHALK LAYOUT FOR REVIEW BY ARCHITECT PRIOR TO INSTALLATION OF TRACK AND STUDS. LAYOUT TO INCLUDE PARTITIONS, MILLWORK, SOFFITS, LIGHTS AND ALL SIGNIFICANT ARCHITECTURAL FEATURES. PROVIDE GREENBOARD AT PLUMBING WALL LOCATIONS. GC TO COORDINATE INSTALLATION OF ALL CABINETS, CARD READERS AND DEVICES AS INDICATED ON DWGS TO ENSURE PROPER WALL RECESS IS PROVIDED. ALL DEVICES INSTALLED IN EXISTING FIRE RATED PARTITIONS SHALL RECEIVE FIRE CALLED J-BOXES. GC TO MAINTAIN INTEGRITY OF EXISTING FIRE RATINGS WHERE OCCURS.
- PROVIDE SHEET METAL BLOCKING FOR ALL MILLWORK AND FURNITURE OVERHEADS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT NOTIFY ARCHITECT.
- GC TO SURVEY FIELD CONDITIONS AND VERIFY THAT WORK IS FEASIBLE AS SHOWN. VERIFY LOCATIONS OF FLOOR OUTLETS AND OTHER OUTLETS IN RELATION TO STRUCTURAL AND OTHER ELEMENTS.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNO ALL DIMENSIONS MARKED CLEAR OR "HOLD" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, STONE, TILE, FABRIC PANELS, MILLWORK, ETC.
- PROVIDE FIRE TREATED PLYWOOD BACKING AT SERVER CLOSET AS REQUIRED.
- FURNITURE SHOWN FOR REFERENCE ONLY.

CONFIDENTIAL TRAINING FACILITY
2011 ROSECRANS AVE.
EL SEGUNDO, CA. 90245

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff RIOS

KPFF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800
Tel: 213.418.0201

me engineers

MAGNUSON KLEIN ELLIOTT ASSOCIATES
Magnuson Klemencic Associates
600 Wilshire Blvd., Suite 1200
Los Angeles, CA 90017
Tel: 206.292.1200

ME Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 510.842.8700

WJHW HOWE ENGINEERS

Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd., Suite 124
Canton, TX 75006
Tel: 972.934.3700

Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500

S2O HLB

S2O Consultants, Inc.
14307 Finsbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

Horton Lees Brogden Lighting Design
8550 Washington Blvd.
Culver City, CA 90232
Tel: 310.637.9529

AQUATIC Thornton Tomasetti

Aquatic Group
2226 Farnsby Avenue
Carlsbad, CA 92009
Tel: 800.938.0542

Thornton Tomasetti
707 Wilshire Blvd., Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUEHLER blitz

Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2363

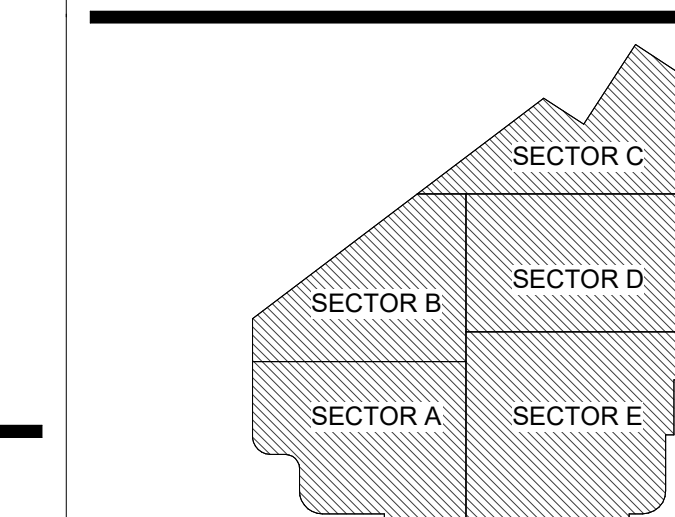
Blitz
8537 Washington Blvd
Culver City, CA 90232
Tel: 310.343.8866

Date	Description
04/18/2025	ISSUE FOR SCHEMATIC DESIGN
05/23/2025	DESIGN DEVELOPMENT PROGRESS
08/05/2025	DESIGN DEVELOPMENT
09/30/2025	CONSTRUCTION DOCUMENTS PROGRESS

LEGEND

- DOOR
- PARTITION
- FIRE EXTINGUISHER CABINET
- MILLWORK
- HATCH INDICATES AREA IN A SEPARATE DESIGN SCOPE. REFER TO INTERIOR ARCHITECTURE (AI) SHEET SERIES AND DESIGN NARRATIVE FOR DESIGN IN THESE AREAS.
- EQUIPMENT TAG

KEY PLAN



Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY

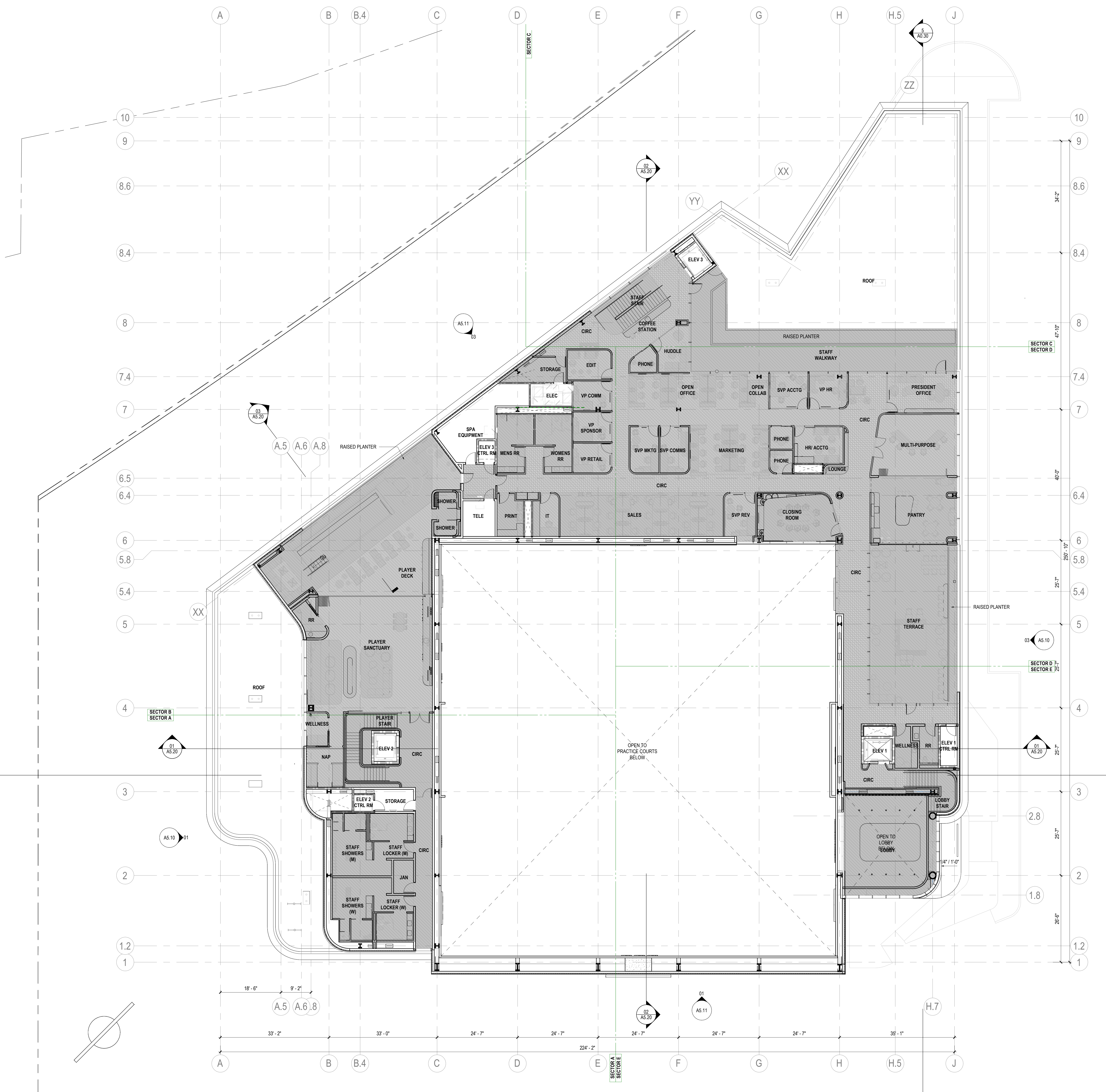
Project Number
05.5301.000

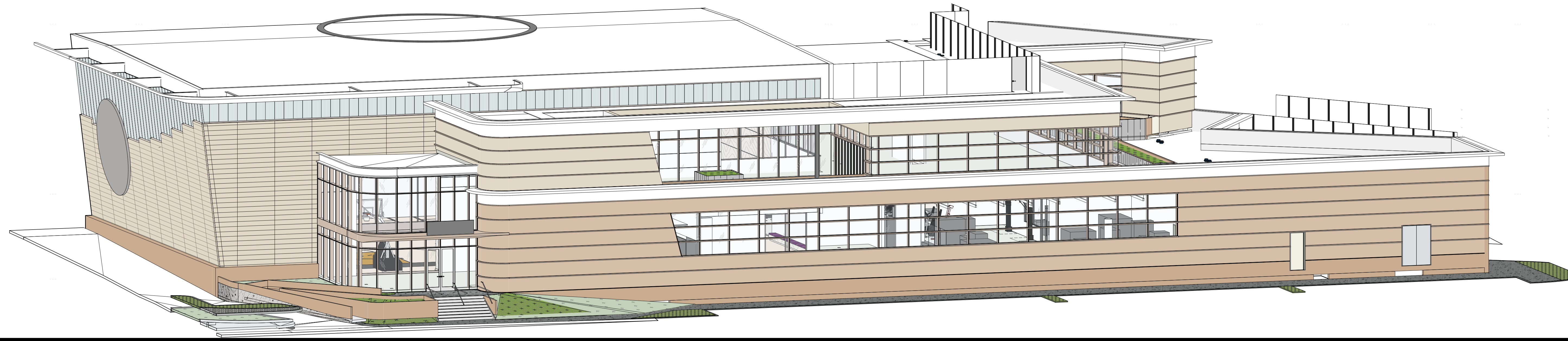
Description
REFERENCE PLAN - UPPER LEVEL 02

Scale
As indicated

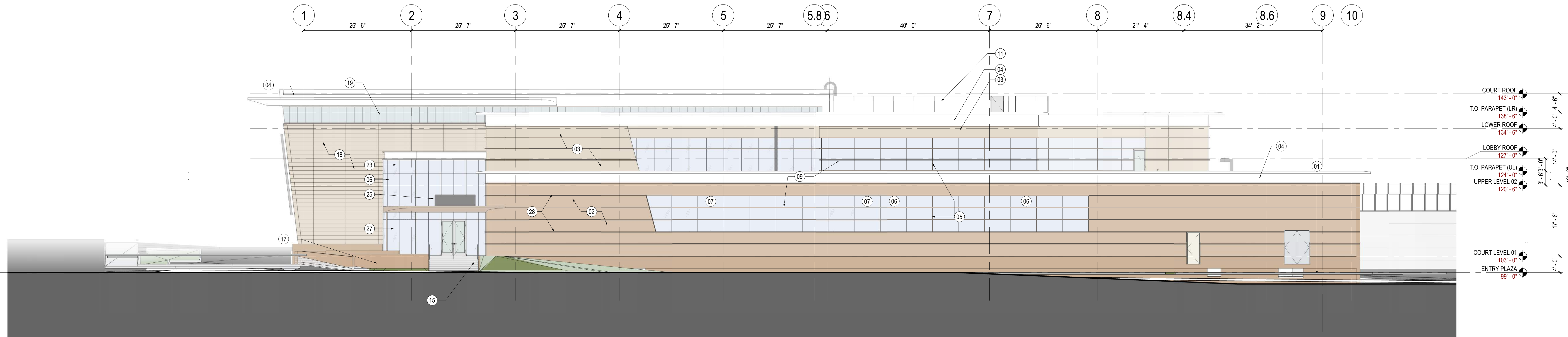
Ref North

A1.02

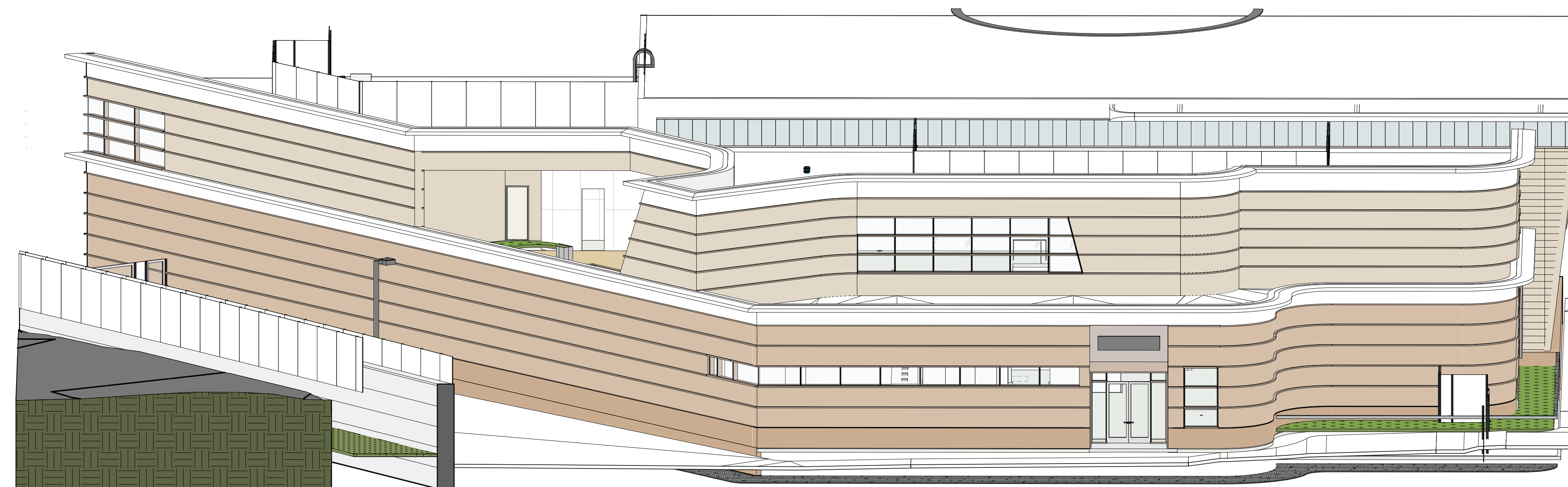




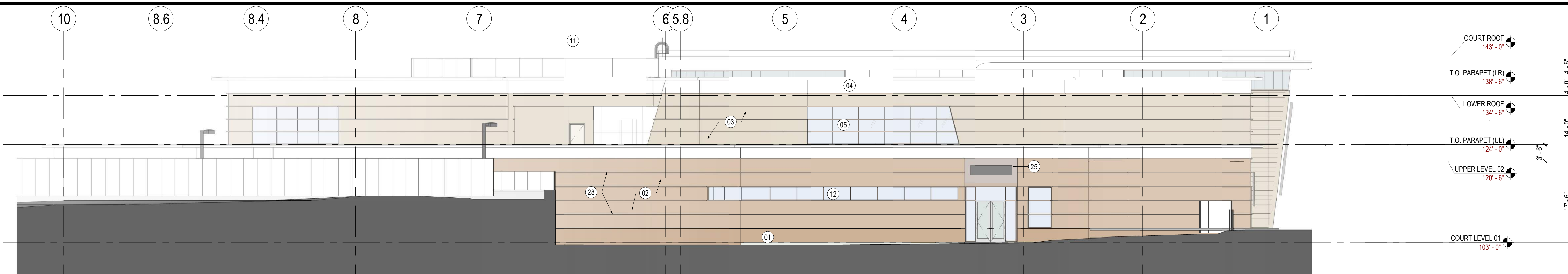
04 OVERALL EXTERIOR AXON - EAST
SCALE



03 EXTERIOR ELEVATION - EAST
SCALE 3/32" = 1'-0"



02 OVERALL EXTERIOR AXON - WEST
SCALE



01 EXTERIOR ELEVATION - WEST
SCALE 3/32" = 1'-0"

SHEET NOTES

- 01 CEMENT PLASTER WALL, TEXTON TUSCANY, COLOR TO MATCH DUNN EDWARDS COLOR 70% DARKER THAN VPC-8717H (GOURMET HONEY)
- 02 CEMENT PLASTER WALL, TEXTON TUSCANY, COLOR TO MATCH DUNN EDWARDS 45% DARKER THAN VPC-8717H (GOURMET HONEY)
- 03 CEMENT PLASTER WALL, TEXTON TUSCANY, COLOR TO MATCH DUNN EDWARDS DE6150 GOURMET HONEY LRV 58 (VPC-8717H)
- 04 ALUMINUM COMPOSITE PANEL, ALUCOBOND PLUS DRY REVEAL
- 05 VERTICAL CAPLESS WINDOW WALL SYSTEM WITH 2-1/2" X 1/2" CAPPED HORIZONTAL MULLIONS, HEAD AND SILL TO BE CAPLESS, CHAMPAGNE COLOR MULLIONS, LOW IRON IGU, VIRACON VNE24-63
- 06 CAPLESS CURTAIN WALL SYSTEM WITH LOW IRON IGU AND FRITTE, PRINT #2973, 30% COVERAGE, 1/8" LINES, MEDIUM GRAY, VIRACON VNE24-63
- 07 CAPLESS CURTAIN WALL SYSTEM WITH LOW IRON IGU AND FRITTE WITH SHADOW BOX, PRINT #2973, 30% COVERAGE, 1/8" LINES, MEDIUM GRAY, VIRACON VNE24-63
- 08 ALUMINUM MULLION EXTENSION
- 09 MECHANICAL SCREEN, MORRIS MATRIX MK-6 PANEL
- 10 3-1/2" TALL RIBBON WINDOW WITH BUTT GLAZED LOW IRON GLAZING, VIRACON VNE24-63
- 11 CAST IN PLACE CONCRETE STAIRS WITH METAL HANDRAILS PAINTED WITH HIGH PERFORMANCE COATING
- 12 PLASTER WALL WITH CEMENT PLASTER FINISH, TEXTON TUSCANY, COLOR TO MATCH DUNN EDWARDS
- 13 FORMED METAL WALL PANEL, MANUFACTURER MORRIS, PULSE SERIES P-1 PANEL, CINNABON CHERRY FINISH
- 14 POLYCARBONATE PANEL, MANUFACTURER DANPAL K12 SYSTEM
- 23 SHADOW BOX INSULATED GLAZING UNIT, VIRACON
- 25 METALLIC SIGNAGE ATTACHED TO CANOPY
- 27 CAPLESS CURTAIN WALL SYSTEM WITH LOW IRON IGU, VIRACON VNE24-63
- 28 ALUMINUM EXTRUSION

GENERAL NOTES

- 1. REFER TO SHEET 01.02 FOR GRAPHIC SYMBOLS, GENERAL NOTES AND ABBREVIATIONS.
- 2. PROVIDE CONTROL JOINTS (CJ) AS IDENTIFIED ON ELEVATION. REFER TO SPECS FOR ADDITIONAL CONTROL JOINT REQUIREMENTS.
- 3. ALL EXTERIOR AIR VENTS, LOUVERS TO BE PAINTED TO MATCH ADJACENT EXTERIOR GLAZING.
- 4. PROVIDE ANTI-GRAFFITI COATING ON ALL EXTERIOR WALLS AND DOORS OUTSIDE OF THE FENCE LINE. ANTI-GRAFFITI COATING TO BE TAKEN TO NEAREST JOINT LINE ABOVE 9'-0". REFER TO ELEVATIONS FOR JOINT LINE LOCATIONS.

LEGEND

- ALUMINUM COMPOSITE PANEL
- INSULATED GLAZING UNIT
- GEOLAM WALL PANEL / FIN
- CEMENT PLASTER WALL
- SHADOW BOX

CONFIDENTIAL TRAINING FACILITY
2011 ROSECRANS AVE.
EL SEGUNDO, CA. 90245

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff

KPFF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS

RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800
Tel: 213.418.0201

MAGNUSSON KLEINERTIC ASSOCIATES

Magnusson Kleinertic Associates
3110 W. Exposition Place
Suite 2100
Los Angeles, CA 90017
Tel: 206.292.1200

me engineers

ME Engineers
3110 W. Exposition Place
Los Angeles, CA 90017
Tel: 310.842.8700

WJHW A PMV COMPANY

Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd., Suite 124
Cantonment, TX 75006
Tel: 972.934.3700

HOWE ENGINEERS

Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500

S2O

S2O Consultants, Inc.
14307 Finsbury Drive
Design
Spring Hill, FL 34609
Tel: 813.505.1312

HLB

Horton Lees Brogden Lighting Design
8580 Washington Blvd.
Culver City, CA 90232
Tel: 310.637.0529

AQUATIC DESIGN GROUP

Aquatic Group
2226 Farsaday Avenue
Carlsbad, CA 92009
Tel: 800.938.0542

Thornton Tomasetti

Thornton Tomasetti
707 Wilshire Blvd., Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUEHLER

Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2383

blitz LOS ANGELES

Blitz
8537 Washington Blvd
Culver City, CA 90232
Tel: 310.343.8586

Date	Description
04/18/2025	ISSUE FOR SCHEMATIC DESIGN
05/23/2025	DESIGN DEVELOPMENT PROGRESS
08/05/2025	DESIGN DEVELOPMENT
09/30/2025	CONSTRUCTION DOCUMENTS PROGRESS

Seal / Signature

NOT FOR CONSTRUCTION

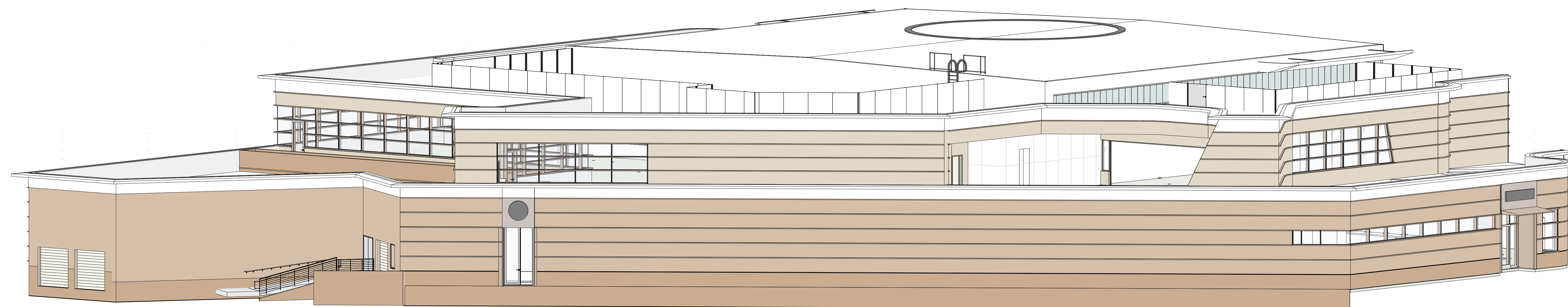
Project Name
CONFIDENTIAL TRAINING FACILITY

Project Number
05.5301.000

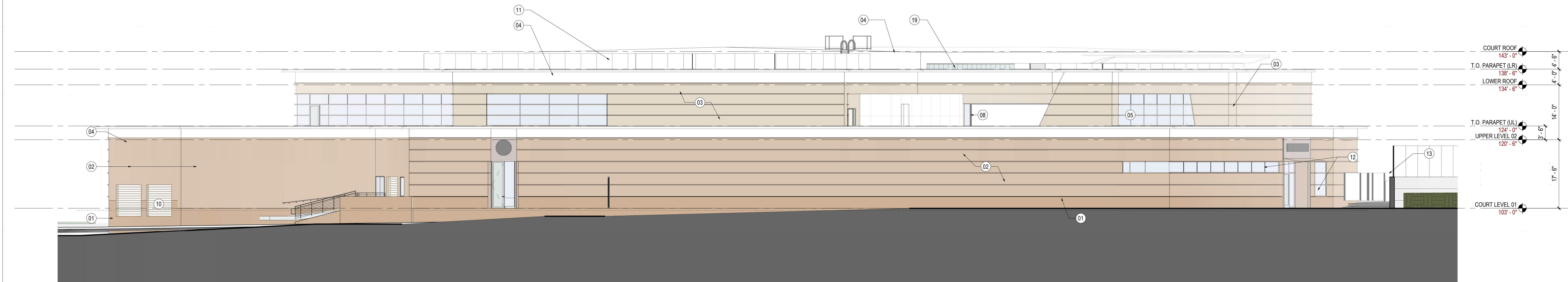
Description
ELEVATIONS - OVERALL EXTERIOR - WEST & EAST

Scale
As indicated

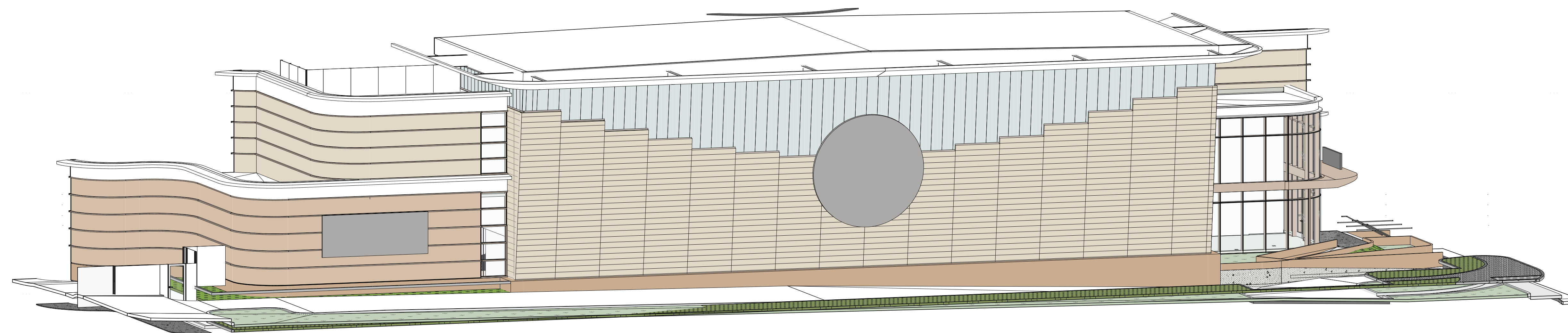
A5.10



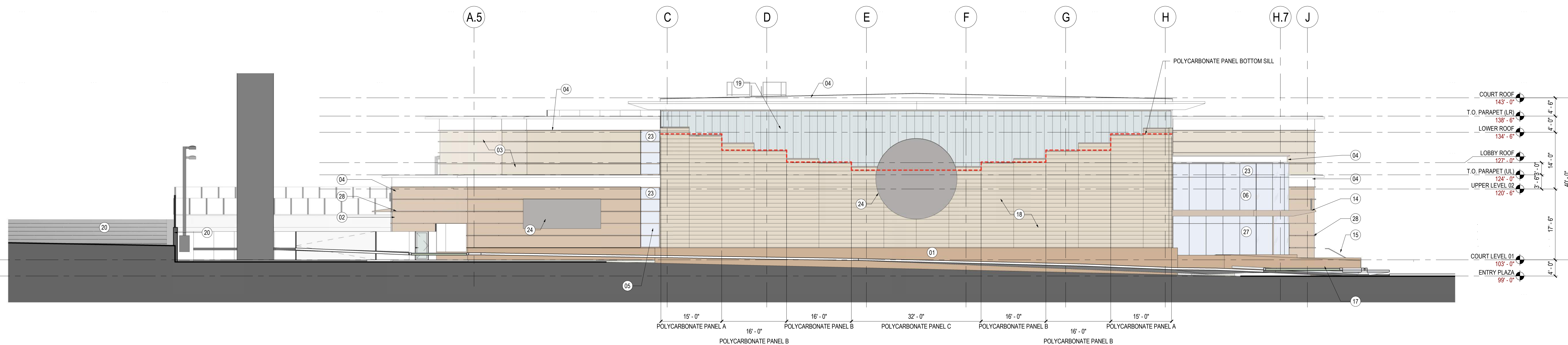
04 OVERALL EXTERIOR AXON - NORTH WEST
SCALE



03 EXTERIOR ELEVATION - NORTH WEST
SCALE 3/32" = 1'-0"



02 OVERALL EXTERIOR AXON - SOUTH
SCALE



01 EXTERIOR ELEVATION - SOUTH
SCALE 3/32" = 1'-0"

SHEET NOTES

- 01 CEMENT PLASTER WALL, TEXTON TUSCANY, COLOR TO MATCH DUNN EDWARDS COLOR 70% DARKER THAN VFC-8717H (GOURMET HONEY)
- 02 CEMENT PLASTER WALL, TEXTON TUSCANY, COLOR TO MATCH DUNN EDWARDS 45% DARKER THAN VFC-8717H (GOURMET HONEY)
- 03 CEMENT PLASTER WALL, TEXTON TUSCANY, COLOR TO MATCH DUNN EDWARDS DE6150 GOURMET HONEY LRV 58 (VFC-8717H)
- 04 ALUMINUM COMPOSITE PANEL, ALUCOBOND PLUS DRY REVEAL
- 05 VERTICAL CAPLESS WINDOW WALL SYSTEM WITH 2-1/2" X 1/2" CAPPED HORIZONTAL MULLIONS, HEAD AND SILL TO BE CAPLESS, CHAMPAGNE COLOR MULLIONS, LOW IRON IGLU, VIRACON VNE24-63
- 06 CAPLESS CURTAIN WALL SYSTEM WITH LOW IRON IGLU AND FRITTE, PRINT #2973, 30% COVERAGE, 1/8" LINES, MEDIUM GRAY, VIRACON VNE24-63
- 08 OPERABLE WALL SYSTEM, PANDA WINDOW AND DOORS, TS-60 SYSTEM
- 10 ROLL-UP DOOR
- 11 MECHANICAL SCREEN, MORIN MATRIX MX-6 PANEL
- 12 3'-0" TALL RIBBON WINDOW WITH BUTT GLAZED LOW IRON GLAZING, VIRACON VNE24-63
- 13 METAL FRAME AND WIRE MESH PERIMETER SITE FENCE
- 14 CANOPY WITH METAL SLATS, HSS TUBE FRAME CLAD WITH ALUMINUM COMPOSITE PANEL
- 15 CAST IN PLACE CONCRETE STAIRS WITH METAL HANDRAILS PAINTED WITH HIGH PERFORMANCE COATING
- 17 PLASTER WALL WITH CEMENT PLASTER FINISH, TEXTON TUSCANY, COLOR TO MATCH DUNN EDWARDS
- 18 FORMED METAL WALL PANEL, MANUFACTURER MORIN, PULSE SERIES P-1 PANEL, CINNAMON CHERRY FINISH
- 19 POLYCARBONATE PANEL, MANUFACTURER DANPAL K12 SYSTEM
- 20 CAST IN PLACE CONCRETE RETAINING WALL
- 23 SHADOW BOX INSULATED GLAZING UNIT, VIRACON
- 24 METALLIC SIGNAGE ATTACHED TO EXTERIOR WALL
- 27 CAPLESS CURTAIN WALL SYSTEM WITH LOW IRON IGLU, VIRACON VNE24-63
- 28 ALUMINUM EXTRUSION

GENERAL NOTES

- 1. REFER TO SHEET 01.02 FOR GRAPHIC SYMBOLS, GENERAL NOTES AND ABBREVIATIONS.
- 2. PROVIDE CONTROL JOINTS (CJ) AS IDENTIFIED ON ELEVATION. REFER TO SPECS FOR ADDITIONAL CONTROL JOINT REQUIREMENTS.
- 3. ALL EXTERIOR AIR VENTS, LOUVERS TO BE PAINTED TO MATCH ADJACENT EXTERIOR GLAZING.
- 4. PROVIDE ANTI-GRAFFITI COATING ON ALL EXTERIOR WALLS AND DOORS OUTSIDE OF THE FENCE LINE. ANTI-GRAFFITI COATING TO BE TAKEN TO NEAREST JOINT LINE ABOVE 9'-0". REFER TO ELEVATIONS FOR JOINT LINE LOCATIONS.

LEGEND

- ALUMINUM COMPOSITE PANEL
- INSULATED GLAZING UNIT
- GEOLAM WALL PANEL / FIN
- CEMENT PLASTER WALL
- SHADOW BOX

CONFIDENTIAL TRAINING FACILITY
2011 ROSECRANS AVE.
EL SEGUNDO, CA. 90245

Gensler

500 South Figueroa Street
Los Angeles, California 90071
United States
Tel: 213.327.3600
Fax: 213.327.3601

kpff

KPFF
700 South Flower Street
Suite 2100
Los Angeles, CA 90017
Tel: 213.418.0201

RIOS

RIOS
3110 W. Exposition Place
Los Angeles, CA 90018
Tel: 323.785.1800
Tel: 213.418.0201

me engineers

Magnuson Klamencic Associates
600 Wilshire Blvd, Suite 1200
Los Angeles, CA 90017
Tel: 310.842.8700

WJHW
A PWC COMPANY

Wrightson, Johnson, Haddon & Williams, Inc.
3423 Midcourt Rd, Suite 124
Canton, TX 75006
Tel: 972.934.3700

HOWE ENGINEERS

Howe Engineers
141 Longwater Drive
Suite 110
Norwell, MA 02061
Tel: 781.878.3500

S2O

S2O Consultants, Inc.
14307 Finbury Drive
Spring Hill, FL 34609
Tel: 813.505.1312

HLB

Horton Lees Brogden Lighting Design
8580 Washington Blvd.
Culver City, CA 90232
Tel: 310.537.0529

AQUATIC

Aquatic Group
2226 Faraday Avenue
Carlsbad, CA 92009
Tel: 800.938.0542

Thornton Tomasetti

Thornton Tomasetti
707 Wilshire Blvd, Suite 4450
Los Angeles, CA 90017
Tel: 213.330.7000

BUEHLER

Buehler
444 S. Flower Street
Suite 750
Los Angeles, CA 90071
Tel: 323.538.2383

blitz
LOS ANGELES

Blitz
8537 Washington Blvd
Culver City, CA 90232
Tel: 310.343.8586

Date	Description
05/23/2025	DESIGN DEVELOPMENT PROGRESS
08/05/2025	DESIGN DEVELOPMENT
09/30/2025	CONSTRUCTION DOCUMENTS PROGRESS

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
CONFIDENTIAL TRAINING FACILITY

Project Number
05.5301.000

Description
ELEVATIONS - OVERALL EXTERIOR - NORTH & SOUTH

Scale
As indicated

A5.11

APPENDIX - B

SITE PLAN REVIEW REFERENCE PLANS